

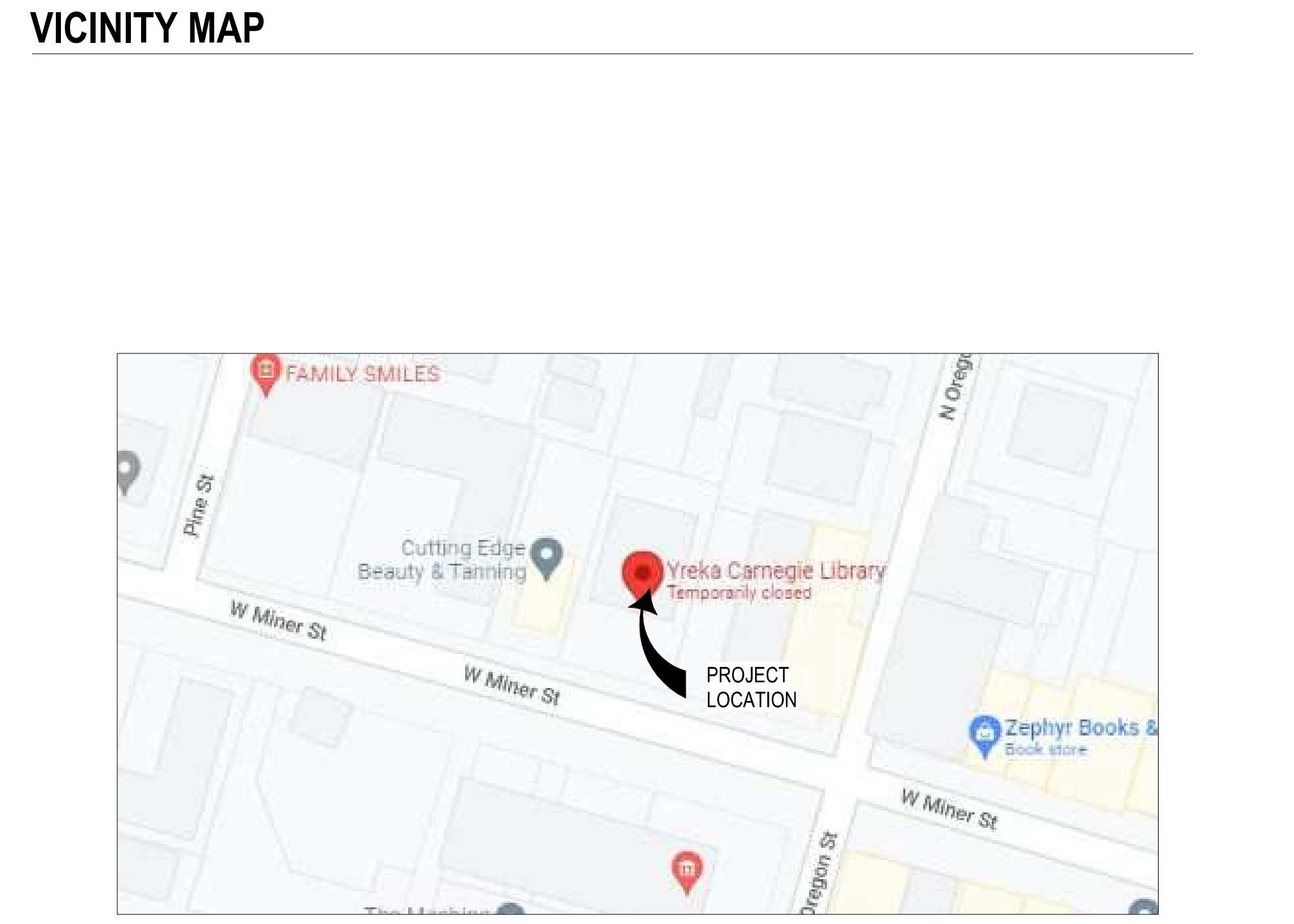
YREKA CARNEGIE LIBRARY REHABILITATION

LEGEND AND SYMBOLS

| | | |
|--|---------------------------------------|--|
| DRAWING TITLE INDICATES DRAWING NUMBER, NAME & SCALE | 1 | DRAWING NUMBER DRAWING NAME DRAWING SCALE |
| ELEVATION REFERENCE REFER TO INDICATED DRAWING | A101 | SHEET WHERE SHOWN DRAWING NUMBER |
| DETAIL REFERENCE REFER TO INDICATED DRAWING | 1 A101 | SIMILAR TO REFERENCE DETAIL DESIGNATION SHEET WHERE SHOWN |
| BUILDING SECTION REFERENCE (WALL SECTIONS UNFILLED ARROW) INDICATES DIRECTION & POINT WHERE SECTION IS TAKEN | 1 A101 | SIMILAR TO REFERENCE DRAWING DESIGNATION SHEET WHERE SHOWN |
| COLUMN GRID SYMBOL COLUMN GRID LINE DESIGNATION | 0 | GRID NUMBER |
| NORTH ARROW INDICATES PROJECT NORTH | TRUE | PROJECT NORTH TRUE NORTH |
| REVISION CLOUD | 1 | REVISED AREA REVISION NUMBER |
| KEYNOTE SYMBOL SEE KEYNOTE LISTING | ? | KEYNOTE NUMBER |
| ROOM NAME/NUMBER SYMBOL SEE FLOOR PLANS | 101 150 SF | ROOM NAME ROOM NUMBER ROOM AREA |
| WALL TAG SEE BUILDING ASSEMBLIES | 10A-AFT | ASSEMBLY NUMBER MODIFIERS STUD SIZE |
| DOOR TAG SEE DOOR SCHEDULE | 101 | DOOR NUMBER |
| WINDOW TAG SEE WINDOW SCHEDULE | 1t | WINDOW NUMBER |
| CURTAIN WALL / STOREFRONT TAG SEE CURTAIN WALL / STOREFRONT SCHEDULE | 1t | CURTAIN WALL / STOREFRONT NUMBER |
| CEILING TAG SEE REFLECTED CEILING PLAN & BUILDING ASSEMBLIES | 1t/ 1' - 0" AFF | CEILING ASSEMBLY NUMBER INSTALLATION HEIGHT |
| ROOF TAG SEE ROOF PLAN & BUILDING ASSEMBLIES | Rx | ROOF ASSEMBLY NUMBER |
| FINISH PLAN SYMBOL OCCURS ON FINISH PLAN | X XXXX XIX | WEST WALL FINISH NORTH WALL FINISH ROOM ABBREVIATION EAST WALL FINISH CEILING FINISH FLOOR FINISH & BASE SOUTH WALL FINISH |
| EGRESS EXIT LIGHT OCCURS ON EGRESS PLAN | ⬤ | ILLUMINATED ARROW BRACKET WALL MOUNT FLUSH WALL MOUNT ILLUMINATION DIRECTION |

| STRUCTURAL | MECHANICAL | ELECTRICAL | PLUMBING | OWNER | GENERAL CONTRACTOR | ARCHITECT |
|---|--|--|--|--|--------------------|---|
| DEI ENGINEERS PO BOX 796 TALENT, OR 97540 CONTACT: BRIAN DUNAGEN, PE PRINCIPAL ENGINEER PHONE: 541.897.0021 EMAIL: BRAIN@DEIENGINEERS.COM | COLEBREIT ENGINEERING 721 SW INDUSTRIAL WAY, SUITE 110 BEND, OR 97702 CONTACT: BILL CARON SR. MECHANICAL ENGINEER PHONE: 541.728.3293 EMAIL: BILLCARON@COLEBREIT.COM | COLEBREIT ENGINEERING 721 SW INDUSTRIAL WAY, SUITE 110 BEND, OR 97702 CONTACT: BILL CARON SR. MECHANICAL ENGINEER PHONE: 541.728.3293 EMAIL: BILLCARON@COLEBREIT.COM | COLEBREIT ENGINEERING 721 SW INDUSTRIAL WAY, SUITE 110 BEND, OR 97702 CONTACT: MICHAEL LEAVITT, PE PLUMBING & FIRE PROTECTION DIRECTOR PHONE: 541.728.3293 EMAIL: MICHAELLEAVITT@COLEBREIT.COM | SISKIYOU ECONOMIC DEVELOPMENT 1512 S. OREGON ST. YREKA, CA 96097 PHONE: 530.842.1638 EMAIL: INFO@SISKIYOUCOUNTY.ORG | TBD | ORW ARCHITECTURE 29 S. GRAPE ST MEDFORD, OREGON 97501 ARCHITECT OF RECORD DAVID@ORWARCH.COM CONTACT: RYAN BURKE PROJECT MANAGER PHONE: 541.779.5237 x12 FAX: 541.772.8472 EMAIL: RYAN@ORWARCH.COM |

| CODES | PROJECT INFORMATION |
|---|--|
| 2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA PLUMBING CODE (CPC) 2019 CALIFORNIA MECHANICAL CODE (CMC) 2019 CALIFORNIA FIRE CODE (CFC) 2019 CALIFORNIA HEALTH AND SAFETY CODE AMENDMENTS 2019 CALIFORNIA ELECTRICAL CODE (CEC) 2019 CALIFORNIA ENERGY CODE ENERGY EFFICIENCY STANDARDS, CLIMATE ZONE 16 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE | LOCATION: 412 W MINER ST, YREKA, CA 96097 ASSESSOR'S PARCEL NUMBER: 053-352-100 BUILDING FOOTPRINT: 2,600 SF FIRST FLOOR: MEZZANINE; N/A BUILDING TYPE: DESIGN CRITERIA FOR CITY OF YREKA: ROOF SNOW LOAD: 40 LBS/SQ. FT. BELOW 2000' ELEVATION WIND SPEED: 80 MPH. |



SHEET INDEX

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 - A01.00 SITE PLAN
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 - A01.11 SITE DETAILS - RAMP
 - A01.12 WATERPROOFING AND DETAILS
 - A02.01 DEMOLITION FLOOR PLANS
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 - S0.2 TYPICAL DETAILS
 - S0.3 TYPICAL DETAILS / DETAILS
 - S0.4 DETAILS
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 - E02.01 ELECTRICAL - BASEMENT, LOWER & UPPER LEVEL REFLECTED CEILING PLANS - LIGHTING
 - E03.01 ELECTRICAL - BASEMENT, LOWER & UPPER LEVEL FLOOR PLANS - POWER & DATA
 - E04.01 ELECTRICAL - ONE-LINE DIAGRAM AND SCHEDULES
 - E05.01 ELECTRICAL - DETAILS

ABBREVIATIONS

| | | | | | | | | | | | |
|------|---|------|--------------------------------|-------|--------------------------|--------|--|--------|--------------------------------|------|--------------------------------|
| ACT | ACOUSTIC CEILING TILE | D-B | DESIGN BUILD | FRP | FIBER-REINFORCED PLASTIC | MIN | MINIMUM | PWP | PLASTIC WALL PANEL | TTB | TELEPHONE TERMINAL BACKBOARD |
| ADJ | ADJACENT | DIA | DIAMETER | FRZR | FREEZER | MISC | MISCELLANEOUS | RB | RUBBER BASE | | |
| AFF | ABOVE FINISHED FLOOR | DIMS | DIMENSIONS | FTG | FOOTING | MTL | METAL | RD | ROOF DRAIN | TYP | TYPICAL |
| AL | ALIGN | DP | DISABLED PERSON | GA | GYPNUM ASSOCIATION | MW | MICROWAVE | REF | REFRIGERATOR | UL | UNDERWRITERS LABORATORY |
| ASW | AREA SEPARATION WALL | DW | DISHWASHER | EA | EACH | MWRGWB | MOLD & WATER RESISTANT GYPNUM WALL BOARD | RM | ROOM | UNO | UNLESS NOTED OTHERWISE |
| BM | BEAM | EJ | EXPANSION JOINT | GALV | GALVANIZED | GB | GRAB BAR | RO | ROUGH OPENING | UTIL | UTILITY |
| BOS | BOTTOM OF STRUCTURE | EQ | ELECTRICAL | GC | GENERAL CONTRACTOR | NIC | NOT IN CONTRACT | RSF | RESILIENT SHEET FLOORING | VCT | VINYL COMPOSITION TILE |
| BS | BACKSPASH | EQ | EQUAL(Y) | OD | OUTSIDE DIAMETER | OCC | OCCUPANCY | RSF | RESILIENT SHEET FLOORING | VCT | VINYL COMPOSITION TILE |
| CFCI | CONTRACTOR FURNISHED CONTRACTOR INSTALLED | EX | EXISTING | GWB | GYPNUM WALL BOARD | OC | ON CENTER | SHTG | SHEATHING | VERT | VERTICAL |
| | | EXT | EXTERIOR | HDR | HEADER | OCC | OCCUPANCY | SIM | SIMILAR | VEST | VESTIBULE |
| | | FD | FLOOR DRAIN | HDR | HEADER | OFCI | OWNER FURNISHED CONTRACTOR INSTALLED | SM | SHEET METAL | WVC | VINYL WALL COVERING |
| | | FEC | FIRE EXTINGUISHER CABINET | HGT | HEIGHT | OFI | OWNER FURNISHED CONTRACTOR INSTALLED | SMS | SHEET METAL SCREWS | WBG | WALL BUMPER GUARD |
| | | FF | FINISHED FLOOR / FINISHED FACE | HR | HOUR | OPNG | OPENING | SHTG | SHEATHING | WC | WATER CLOSET |
| | | FMG | FRAMING | HR | HOUR | OVHG | OVERHANG | SOFT | SOFT | WD | WOOD |
| | | FOM | FACE OF MASONRY | HW | HOT WATER | PC | PAINT COLOR | SS | STAINLESS STEEL | WDW | WINDOW |
| | | FOS | FACE OF STUD / STRUCTURE | INSUL | INSULATION | PLAM | PLASTIC LAMINATED | STL | STEEL | WF | WIDE FLANGE |
| | | FR | FIRE RESISTANT | INT | INTERIOR | PSF | POUNDS PER SQUARE FOOT | STRUCT | STRUCTURAL/STRUCTURE | WP | WATER PROOF |
| | | FRM | FRAMING | JST | JOIST | PT | PAINT | URE | URETHANE | WRGB | WEATHER RESISTANT GYPSUM BOARD |
| | | | | JTS | JOINTS | PTW | PRESSURE TREATED WOOD | TFA | THROUGH WALL FLASHING ASSEMBLY | | |
| | | | | KS | KNEE SPACE | TH | THRESHOLD | TO | TOP OF | | |
| | | | | MDL | MODEL | TS | TUBE STEEL | | | | |
| | | | | MECH | MECHANICAL | | | | | | |
| | | | | MFR | MANUFACTURER | | | | | | |

GENERAL NOTES

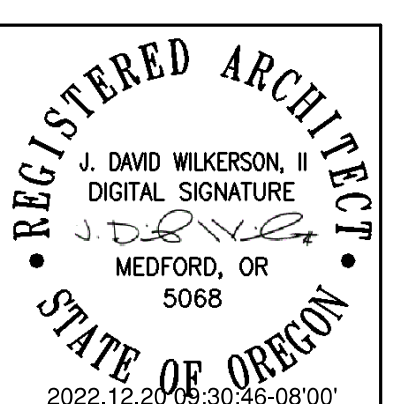
- DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING SITE DIMENSIONS. IF DISCREPANCIES ARE FOUND, THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY FOR CLARIFICATION.
- UNLESS SHOWN OTHERWISE, ALL DAMAGE CAUSED BY NEW WORK TO EXISTING AREAS OF THE SITE, CONSTRUCTION, FINISH CONSTRUCTION, ELECTRICAL OR MECHANICAL SYSTEMS SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS OR AS FOUND PRIOR TO ANY DAMAGE.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE FIRE AND LIFE SAFETY CODES.
- THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH THE SCOPE OF THE WORK AND SITE ACCESSIBILITY. THE CONTRACTOR IS REMINDED THAT THE PROJECT DRAWINGS INDICATE THE CONDITIONS AT THE SITE AS IT EXISTED. DEVIATIONS ENCOUNTERED DURING THE WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING STRUCTURES AT THE WORK AREA FROM WEATHER AND OTHER INCLEMENT CONDITIONS. ANY DAMAGE INCURRED DUE TO THE FAILURE BY THE CONTRACTOR TO PROPERLY PROTECT SUCH WORK SHALL BE REPAIRED AT CONTRACTOR EXPENSE.
- THE CONTRACTOR SHALL DISPOSE OF ALL REMOVED AND /OR DEMOLISHED MATERIAL. WASTE & DEBRIS CAUSED BY THE NEW WORK. THIS MATERIAL SHALL BE REMOVED FROM THE PROPERTY AND TAKEN TO A LEGALLY-OPERATED DISPOSAL SITE.
- ALL CONSTRUCTION TECHNIQUES, MATERIALS, AND FINISHES SHALL BE AS REQUIRED BY THE APPROPRIATE CODE AUTHORITIES. INSTALLATION SHALL FOLLOW THE MANUFACTURERS PUBLISHED SPECIFICATIONS AND/OR TRADE STANDARDS IN ADDITION TO MEETING OR EXCEEDING THE DESIGN STANDARDS.
- ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING AND THE EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF.
- ALL DIMENSIONS FROM FACE OF FINISH UNLESS NOTED OTHERWISE.

DEFERRED SUBMITTALS

- FIRE SPRINKLERS
- FIRE ALARM SYSTEMS



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DIGITAL SIGNATURE
MEDFORD, OR
5068
0022-12-20-2022-30-35-0800

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412 W MINER ST, YREKA, CA 96097
SISKIYOU ECONOMIC DEVELOPMENT
ASSESSOR'S PARCEL NUMBER: 53-352-100

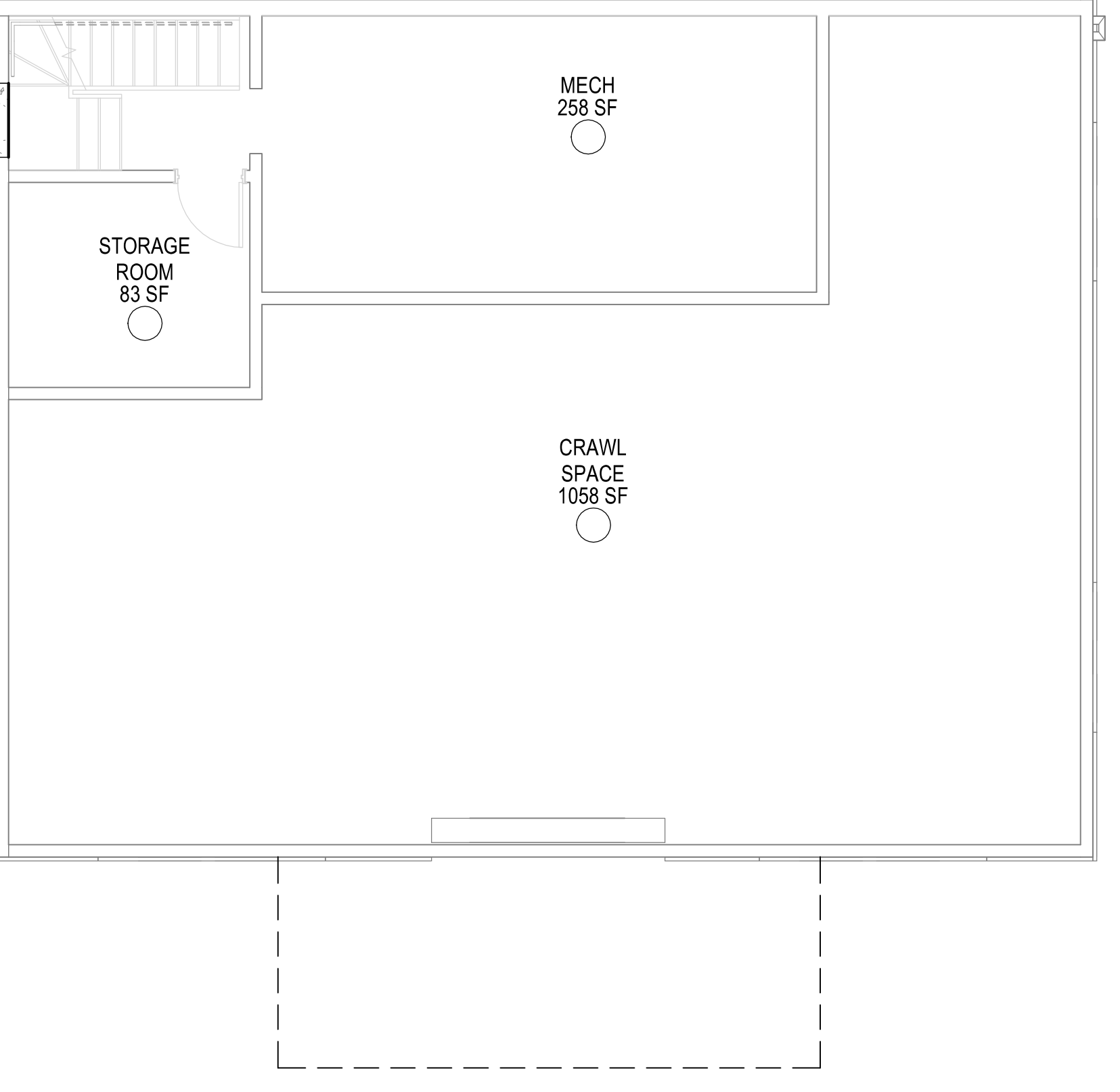
TITLE SHEET AND DRAWING INDEX

| | | |
|----------|-------------|------|
| PROJECT: | 2146 | |
| DATE: | 12/20/2022 | |
| No. | Description | Date |
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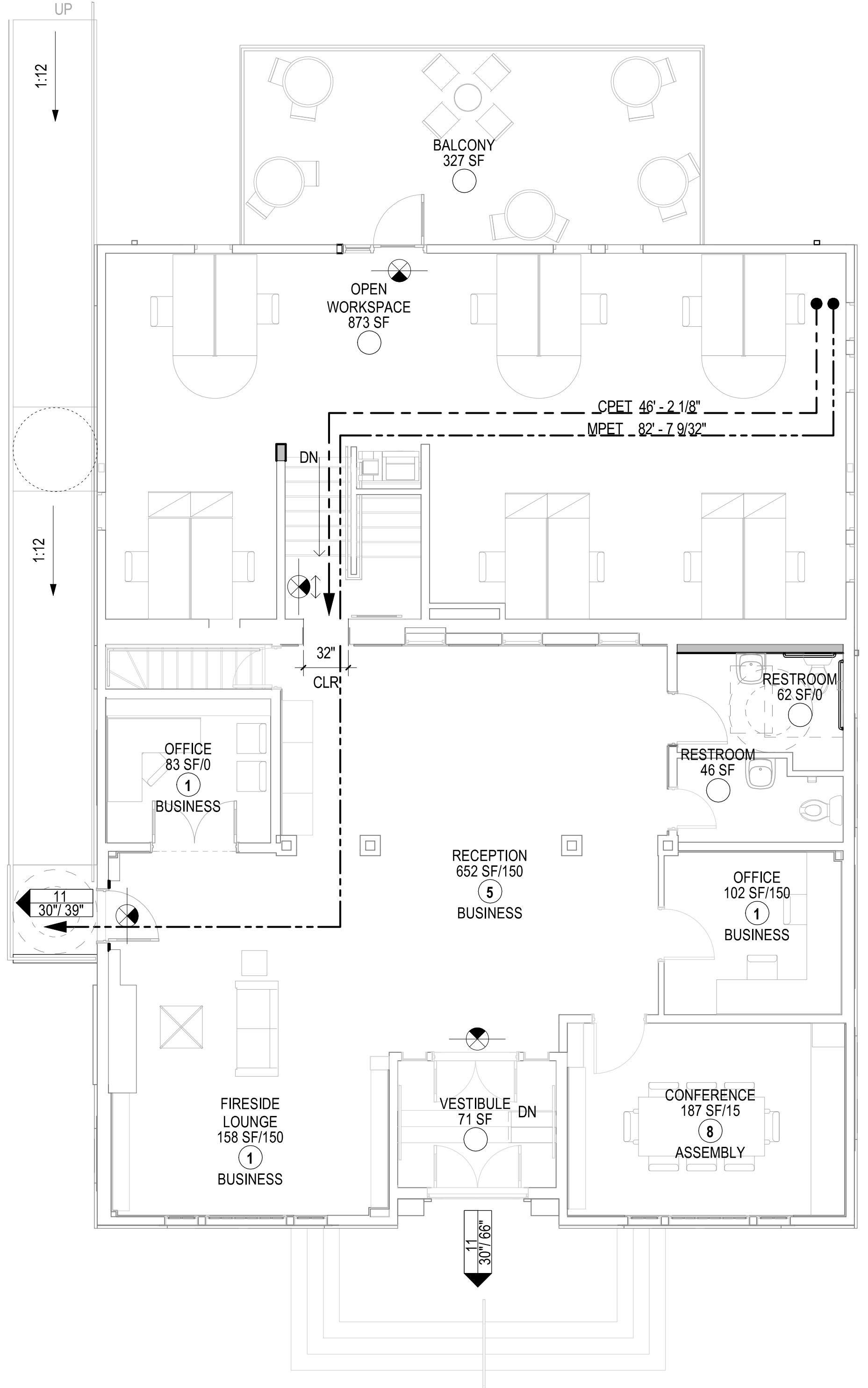
A00.00

1'-4"
1'
9"
6"
3"
0'
SCALE: 3" = 1'-0"
2'-8"
2'
0'
SCALE: 1 1/2" = 1'-0"
16"
8"
4"
2"
0'
SCALE: 1/4" = 1'-0"
10'-8"
7'
3'
0'
SCALE: 3/8" = 1'-0"
32"
16"
8"
4"
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SCALE: 1/8" = 1'-0"
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24"
12"
4"
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12/20/2022 8:13:54 AM BIM 360

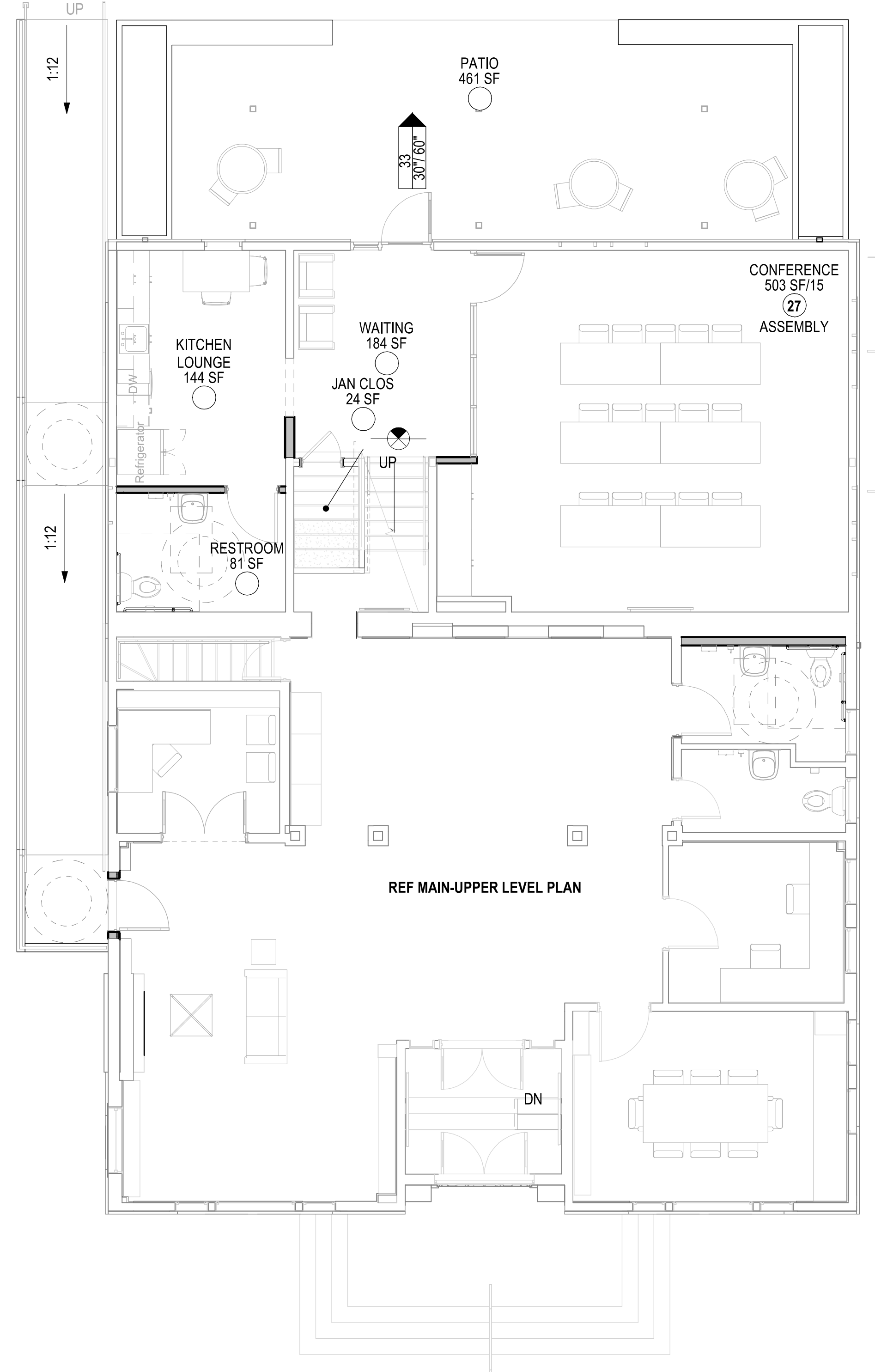
3 EGRESS PLAN - BASEMENT LEVEL
3/16" = 1'-0"



2 EGRESS PLAN - MAIN-UPPER LEVEL
3/16" = 1'-0"



1 EGRESS PLAN - LOWER-MAIN LEVEL
3/16" = 1'-0"



GENERAL NOTES

LEGEND

- EGRESS AREA OCCUPANCY TAG: 150 SF/100 GROSS BUSINESS
- EGRESS CLEARANCE SYMBOL: 20 REQ CLR
- EXIT ACCESS TRAVEL DISTANCE: 50/ 200' MAX
- COMMON PATH OF EGRESS TRAVEL: 25/ 75' MAX
- ILLUMINATED EXIT SIGN: INDICATES FLUSH WALL MOUNT, DIRECTIONAL ARROW INDICATES SIDE TO BE ILLUMINATED, INDICATES SIDE BLADE WALL MOUNT
- FIRE EXTINGUISHER CABINET: FEC
- SPACE NAME: OFFICE, BUSINESS, CONFERENCE, ASSEMBLY, WAITING, JAN CLOS, RESTROOM, KITCHEN LOUNGE, PATIO, BALCONY, OPEN WORKSPACE, RECEPTION, OFFICE, CONFERENCE, ASSEMBLY, VESTIBULE, FIRESIDE LOUNGE, STORAGE ROOM, MECH, CRAWL SPACE
- AREA / AREA PER PERSON: CALCULATED OCCUPANTS, CHAPTER 10 FUNCTION OCCUPANT LOAD
- WIDTH REQUIRED / PROVIDED
- EXIT TRAVEL DISTANCE PROVIDED / MAX ALLOWED
- COMMON PATH OF EGRESS TRAVEL PROVIDED / MAX ALLOWED

PLUMBING FIXTURE CALCULATIONS TABLE 2902.1

| | AREA | OCC. GRP | OCC. LOAD | WC | UR | LAVATORIES | SHOWERS |
|--------------------------|------------|----------|-----------|----------|----------|------------|----------|
| | | | | UNI | | UNI | M/F |
| BUSINESS - ASSEMBLY AREA | 692 SQFT | A | 35 | 1 | 0 | 1 | |
| BUSINESS | 3,788 SQFT | B | 20 | 1 | 0 | 1 | 0 |
| TOTAL | | | 55 | 3 | 0 | 3 | 0 |

REQUIRED PROVIDED

* URINALS MAY REPLACE WC AT A RATIO OF 1 URINAL TO 2/3 WC. 3 UR = 2 WC

CODE ANALYSIS

ALLOWABLE AREA CALCULATIONS
Allowable Area Calculations (Table 503 and Section 506)

Fire Area or Building: First

All Floors
Occupancy Type: B

Maximum Designed Area per Floor
EXISTING - NO CHANGES

| | |
|-------------|----------|
| Basement | 450 SF |
| Lower Level | 1,045 SF |
| Main Level | 1,570 SF |
| Upper Level | 1,045 SF |

CODE ANALYSIS WORKSHEET
Code: 2019 Oregon Structural Specialty Code

Occupant Load Calculations
Factors as indicated on plans per (Table 1004.5)

Common Path of Egress Travel (Section 1006.2.1)
Group B Occupancy Fully Sprinklered = max 100 feet
See Exiting Diagram on Plan

Maximum Path of Exit Access Travel (Table 1017.2)
Group B Occupancy = max 200 feet
See Exiting Diagram on Plan

Exit or Exit Access Doorway Placement (Section 1015.2.1)
EXISTING - NO CHANGES

Accessible Means of Egress (Section 1007)
Stairways:
Clear width of 48" between handrails is not required per Section 1009.3.2, Exception 1
Elevators:
NA

CODE ANALYSIS WORKSHEET
Occupant Load Calculations

Factors as indicated on plans per (Table 1004.5)

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Stairways:
Clear width of 48" between handrails is not required per Section 1009.3.2, Exception 1
Elevators:
NA



REGISTERED ARCHITECT
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2022.12.20 08:30:00-08:00

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CODE ANALYSIS & EGRESS DIAGRAM

PROJECT: 2146
DATE: 12/20/2022

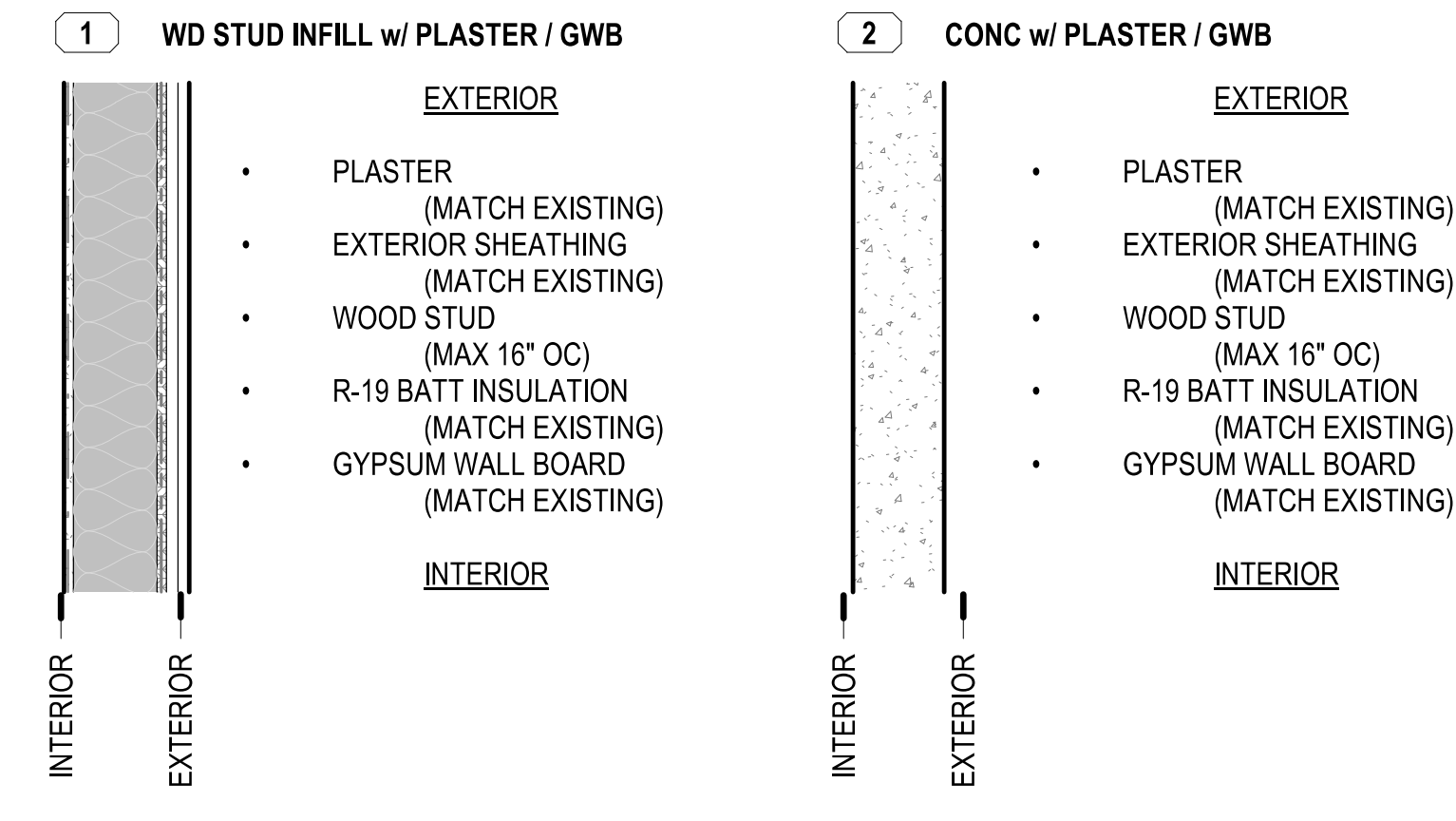
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A00.10

WALL & HORIZONTAL ASSEMBLY NOTES:

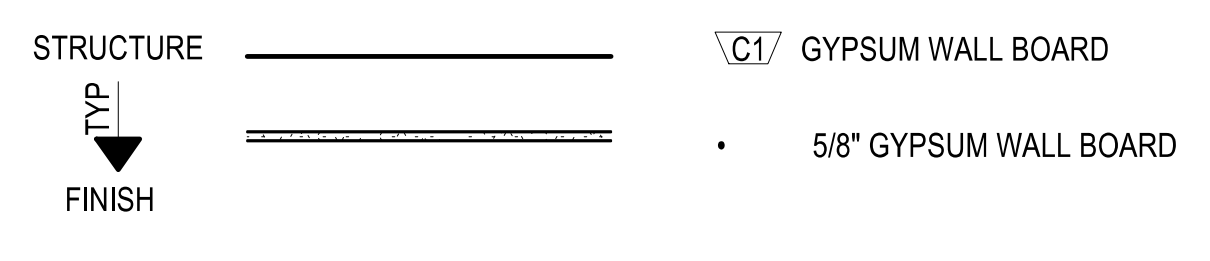
- STRUCTURAL ASPECT OF ALL WALLS SHALL BE PER STRUCTURAL.
- THERMAL & SOUND INSULATION SHALL BE INSTALLED PER DETAILS & SPECIFICATIONS. ALL EXTERIOR WALLS SHALL RECEIVE THERMAL INSULATION.
- ALL GYPSUM IS 5/8" THICK TYPE 'X' UNO.
- WALLS WITHIN 2 FEET OF A MOISTURE PRODUCING ITEM SUCH AS, BUT NOT LIMITED TO SINKS, CONDENSATE LINES, SHALL HAVE MOLD & WATER RESISTANT (MWR) GYPSUM BOARD TO A HEIGHT OF 4 FEET MINIMUM. (NOTE 5 OF THIS SECTION GOVERNS)
- ALL WALLS AND CEILINGS OF RESTROOMS AND CUSTODIAL CLOSETS SHALL BE FULLY SHEATHED WITH MWR GYPSUM BOARD.
- GYPSUM BOARD AT NON-RATED &/OR NON-BEARING WALLS SHALL EXTEND 12" MINIMUM ABOVE THE HIGHEST ADJACENT CEILING.
- GYPSUM BOARD AT FIRE RATED WALLS SHALL EXTEND UP TO AND ADJOIN WITH THE FIRE RATED HORIZONTAL ASSEMBLY AS DETAILED.
- REFER TO INTERIOR ELEVATIONS & FINISH SCHEDULE FOR ADDITIONAL APPLIED FINISHES WHERE OCCURS.
- HEIGHT OF WALL SUBSTRATE OR FINISH IS EITHER FULL HEIGHT TO STRUCTURE ABOVE, OR PARTIAL HEIGHT TO 12" ABOVE HIGHEST ADJACENT CEILING w/ BRACING PER DETAILS & SPECS. REF STRUCTURAL DRAWINGS. (NOTE 7 OF THIS SECTION GOVERNS)
- UNLESS NOTED OTHERWISE, WALL TAG SHALL APPLY TO ENTIRE LENGTH OF WALL FACING A PARTICULAR SPACE, UNINTERRUPTED BY DOORS OR WINDOWS, AND TRACING RECESSES AND OTHER CONVOLUTIONS.
- NOT USED
- NOT USED
- NOT USED
- NOT USED

VERTICAL ASSEMBLIES - EXTERIOR

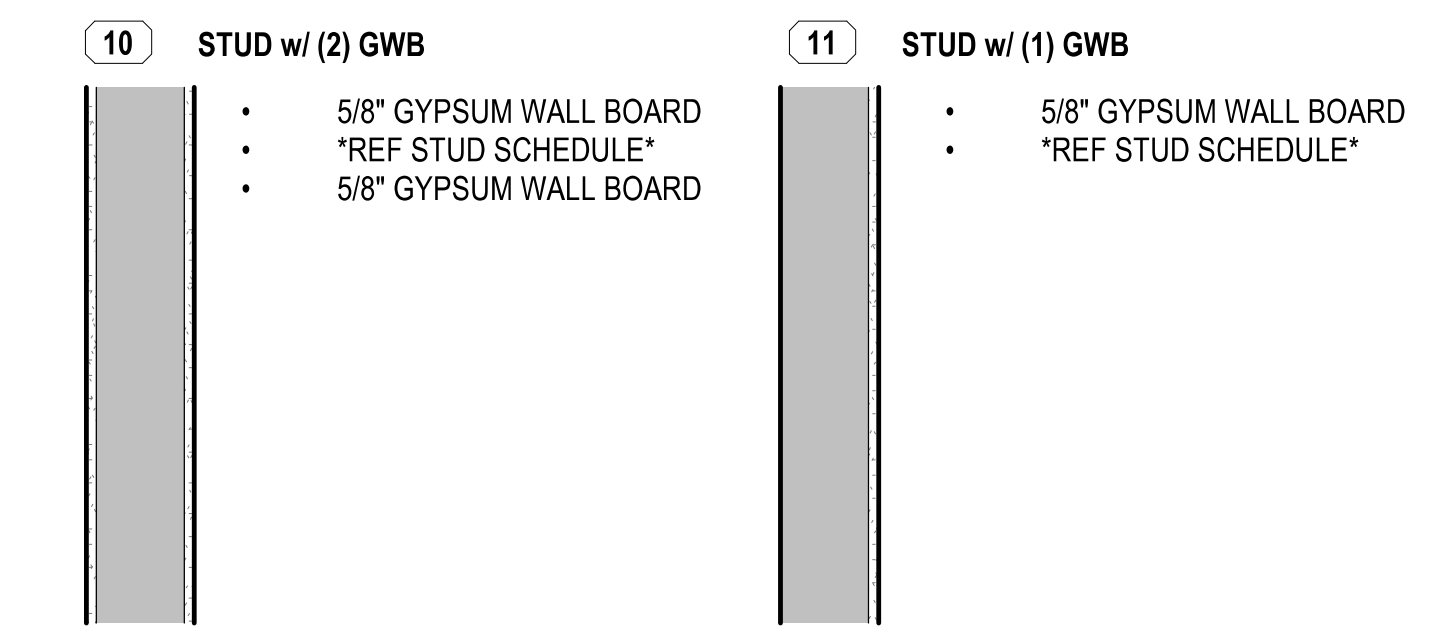


NOTE: ALL MATERIALS TO MATCH EXISTING CONSTRUCTION AND MAKE FLUSH WITH ADJACENT CONSTRUCTION

CEILING ASSEMBLIES



VERTICAL ASSEMBLIES - INTERIOR



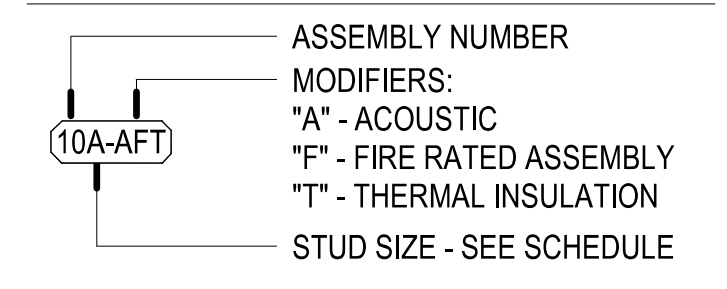
INFILL WALLS

MATERIAL TYPE & THICKNESS TO MATCH EXISTING SURROUND, PATCH & FEATHER AS NEEDED TO MAKE WALL LOOK AS IF IT WAS NEVER MISSING.

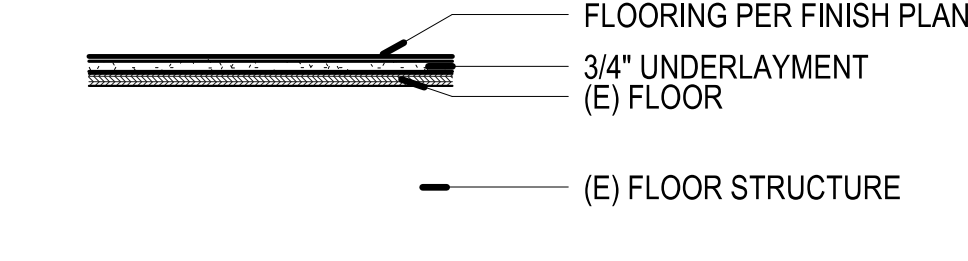
INTERIOR PARTITION STUD SCHEDULE

| | | |
|---|---------------|--------|
| A | 2x4 WOOD STUD | 16" OC |
| B | 2x6 WOOD STUD | 16" OC |

INTERIOR PARTITION KEY

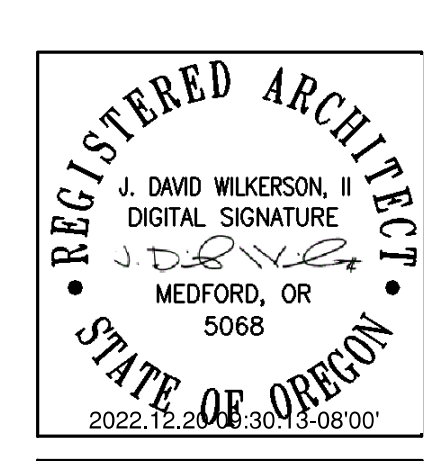
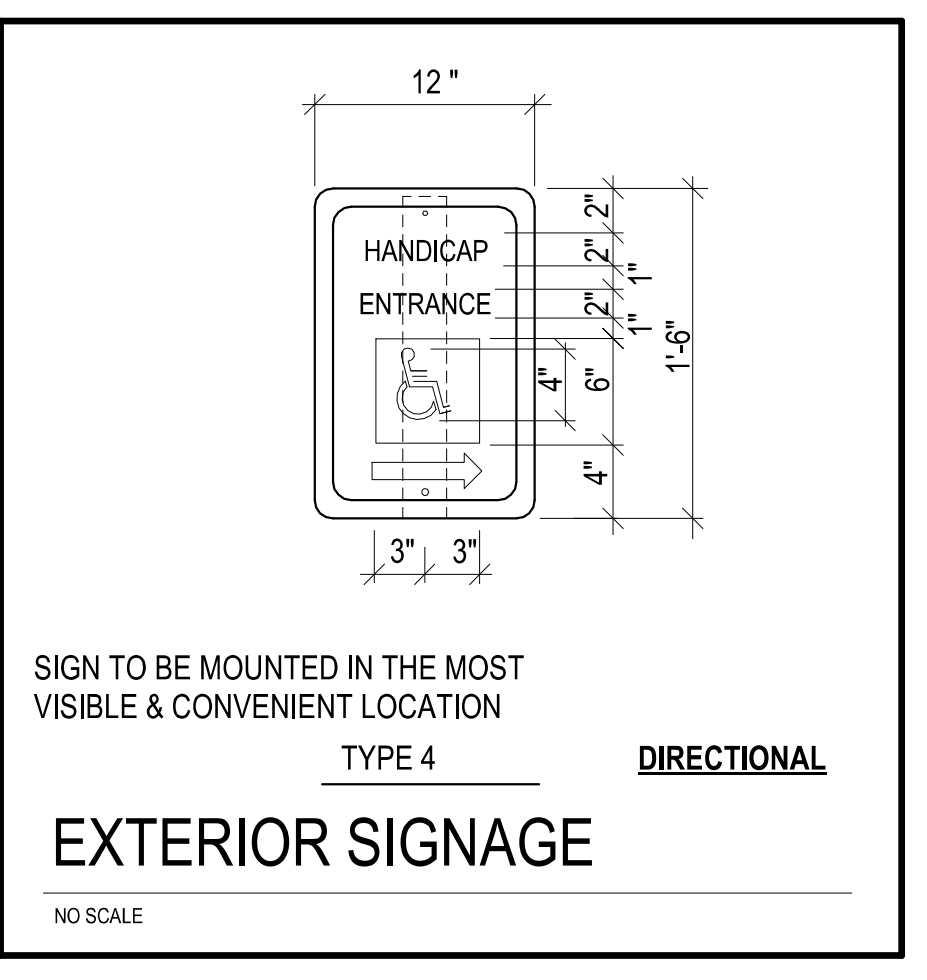
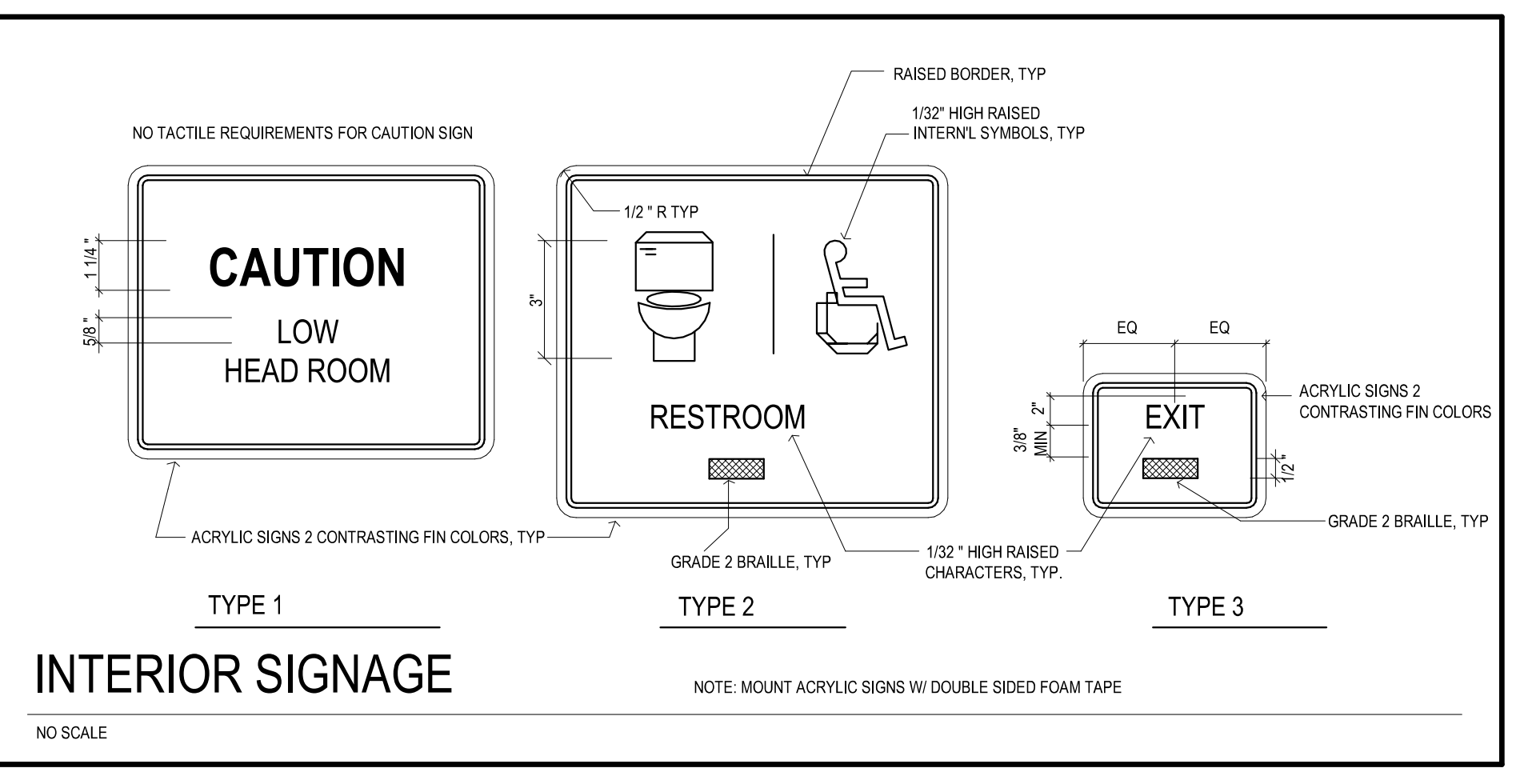
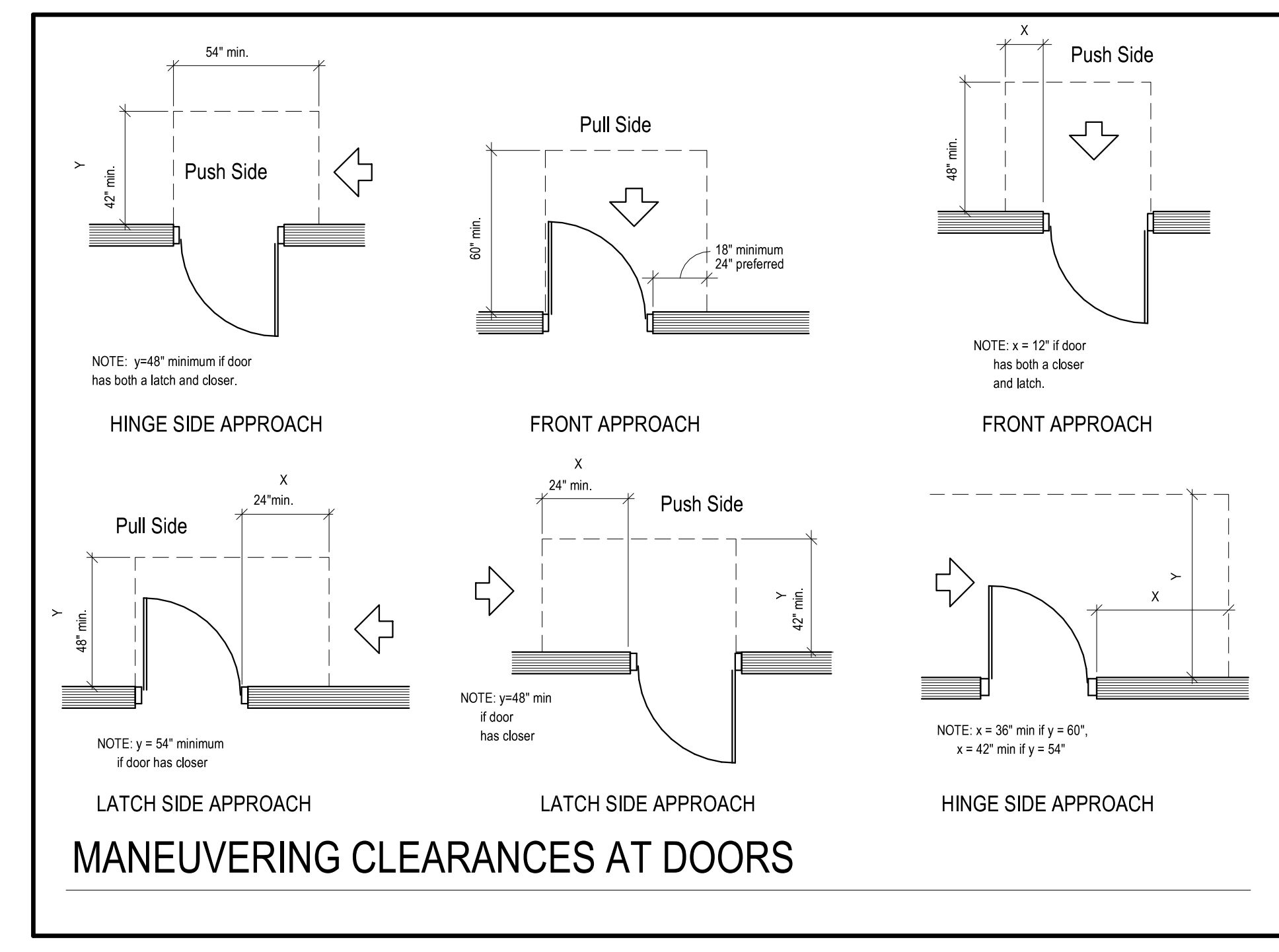
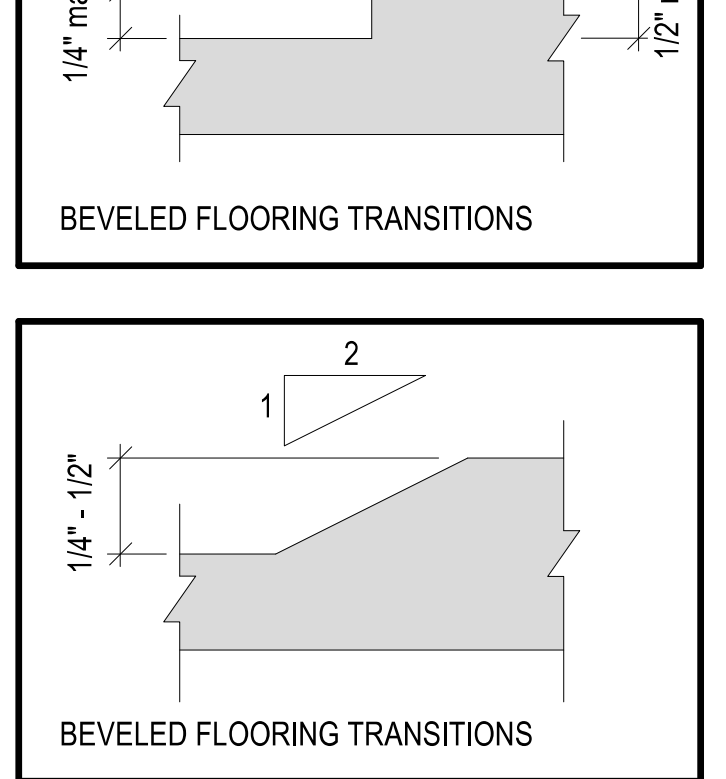
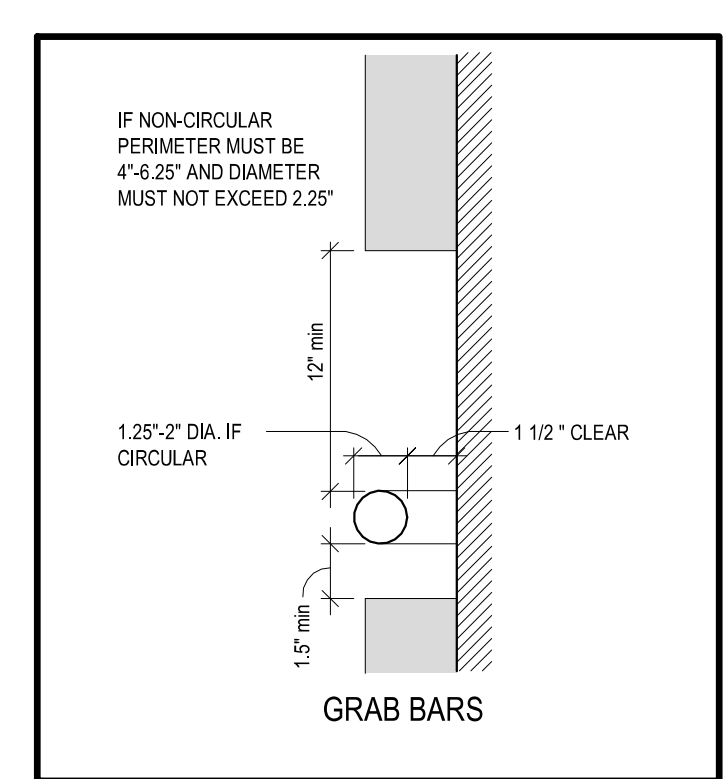
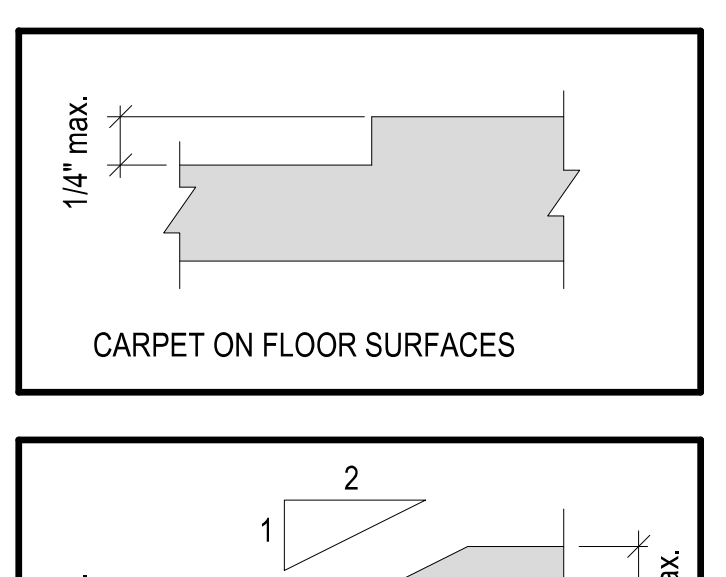
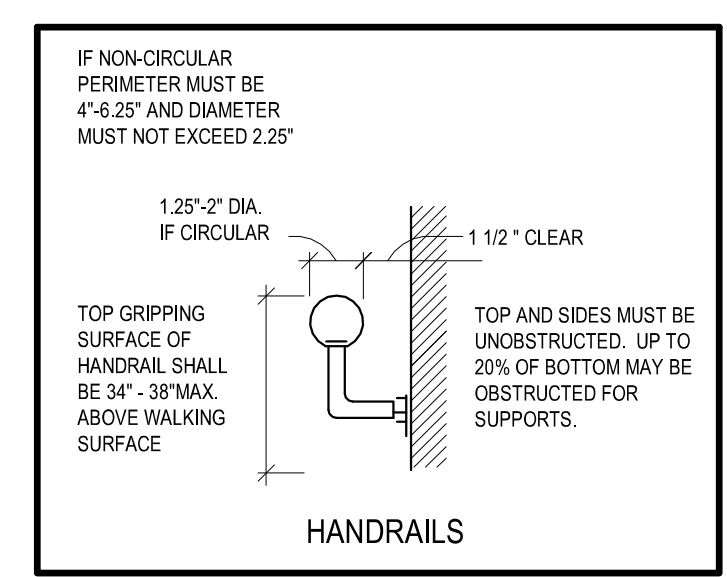
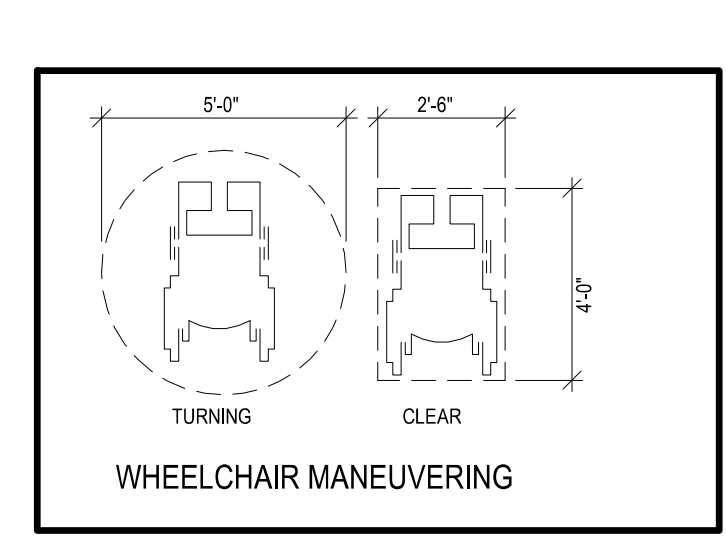
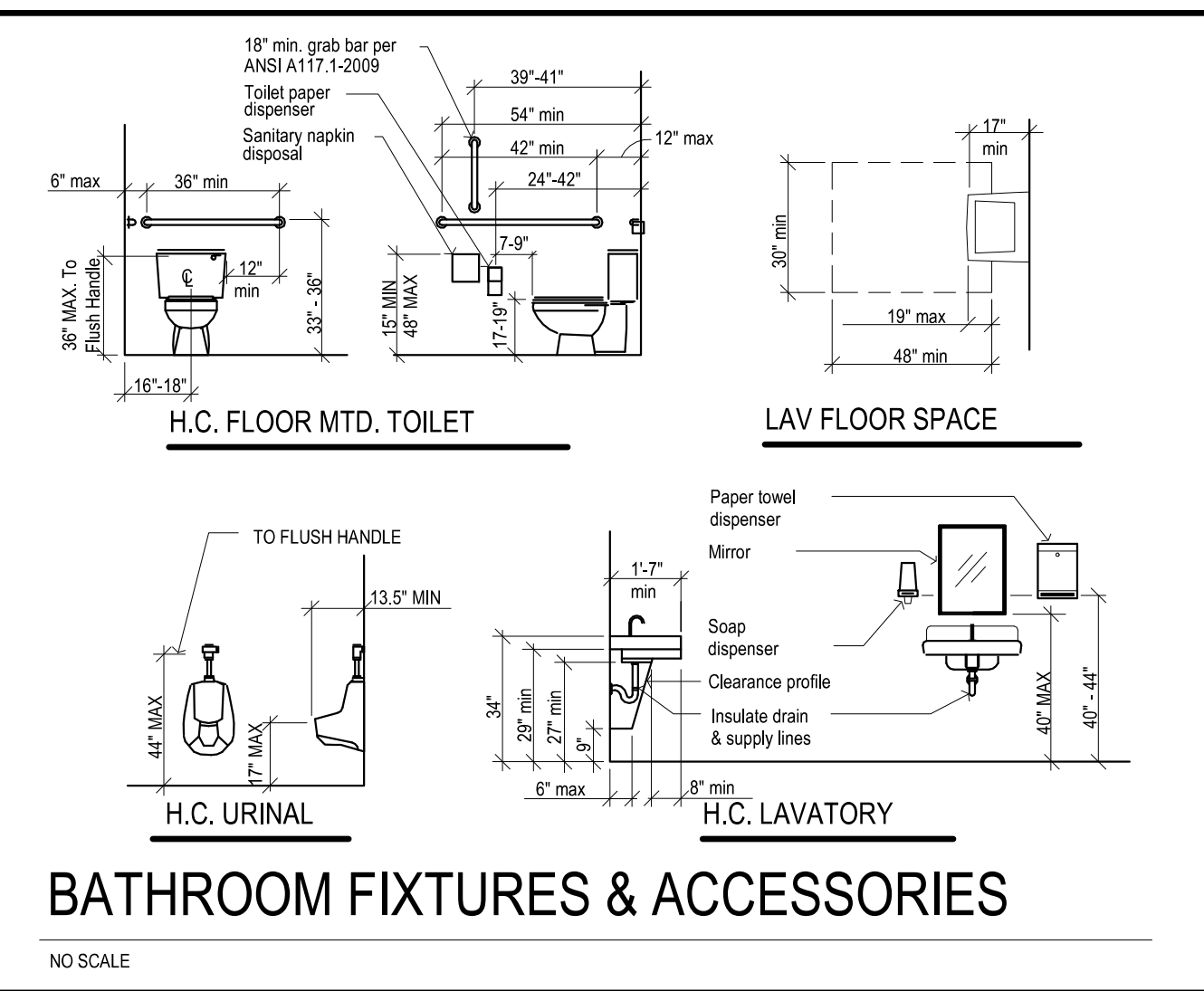
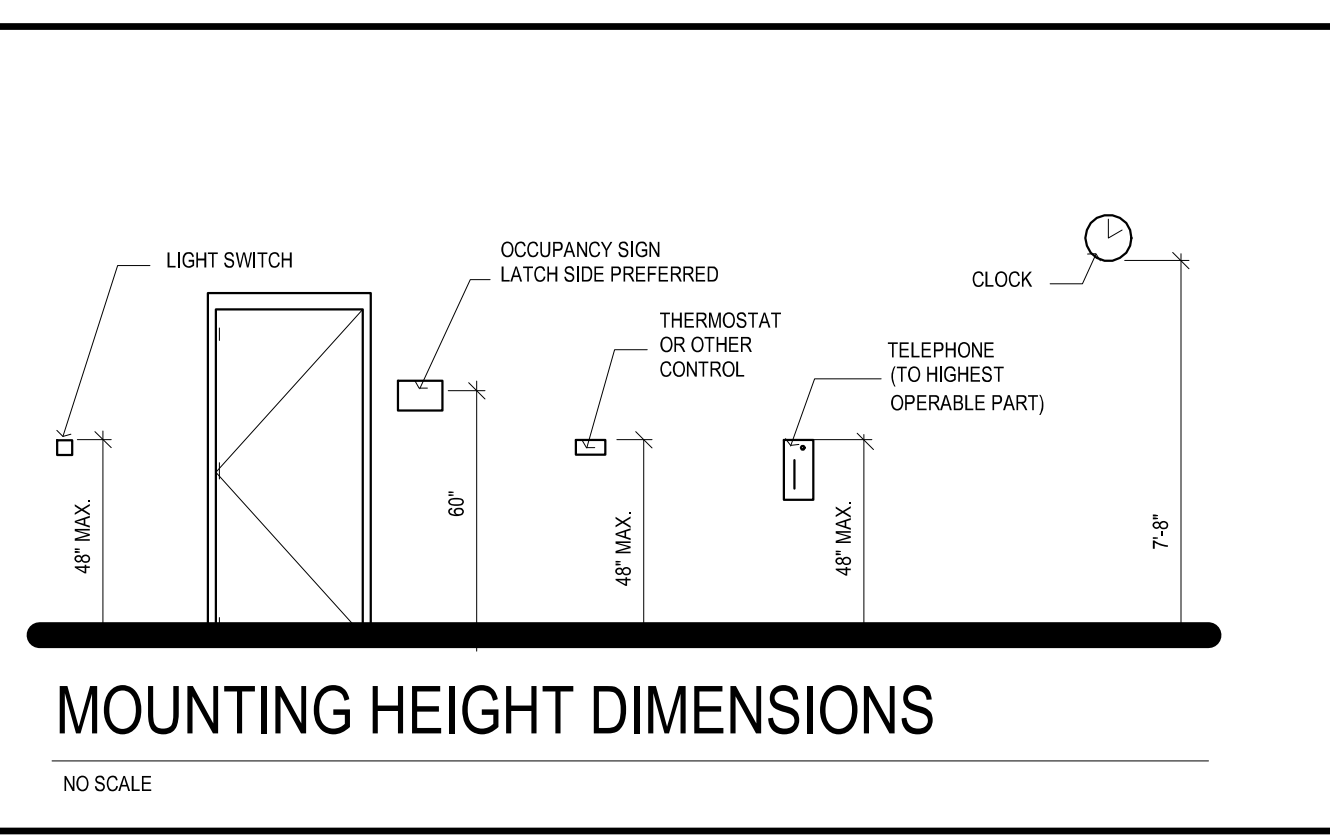
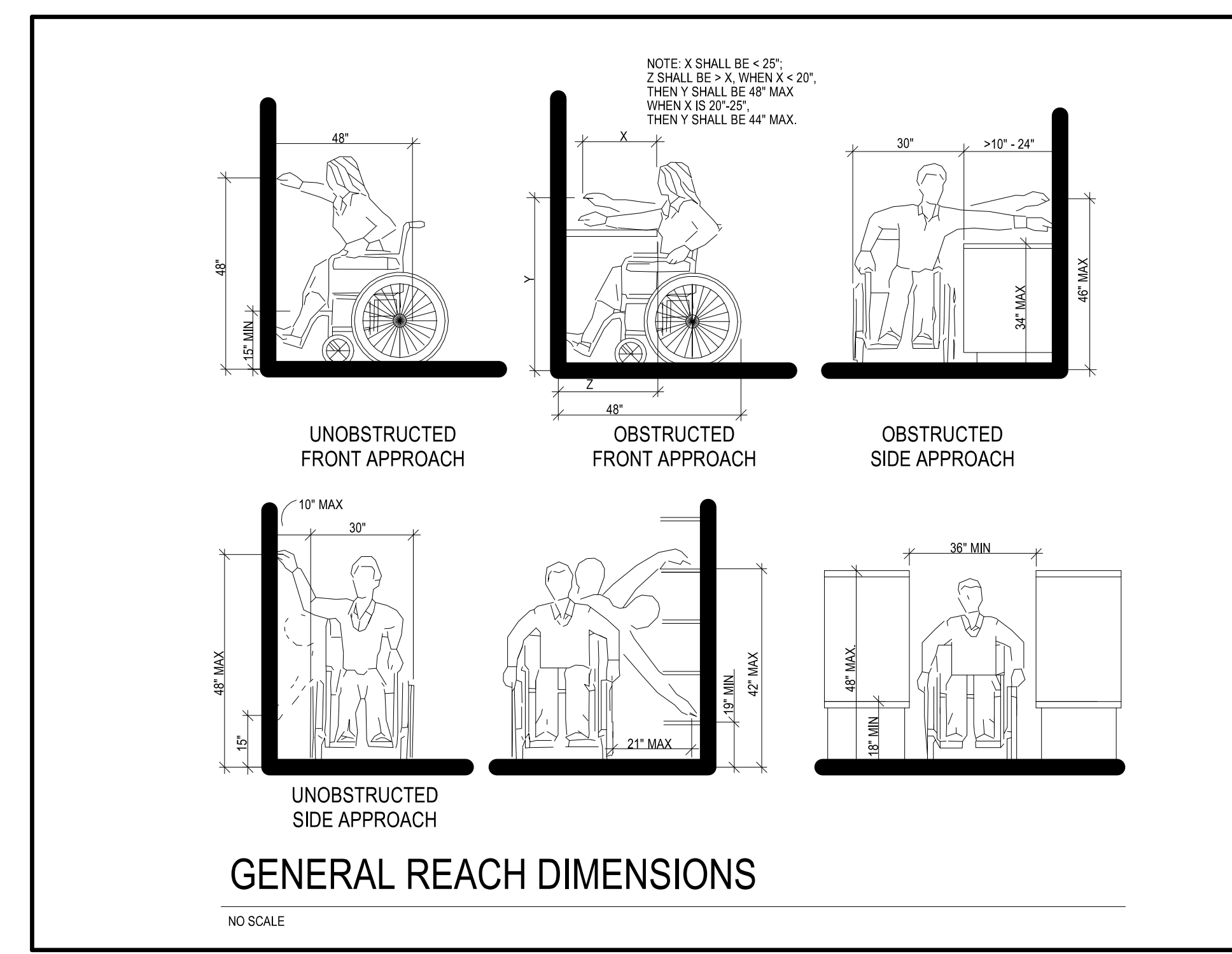
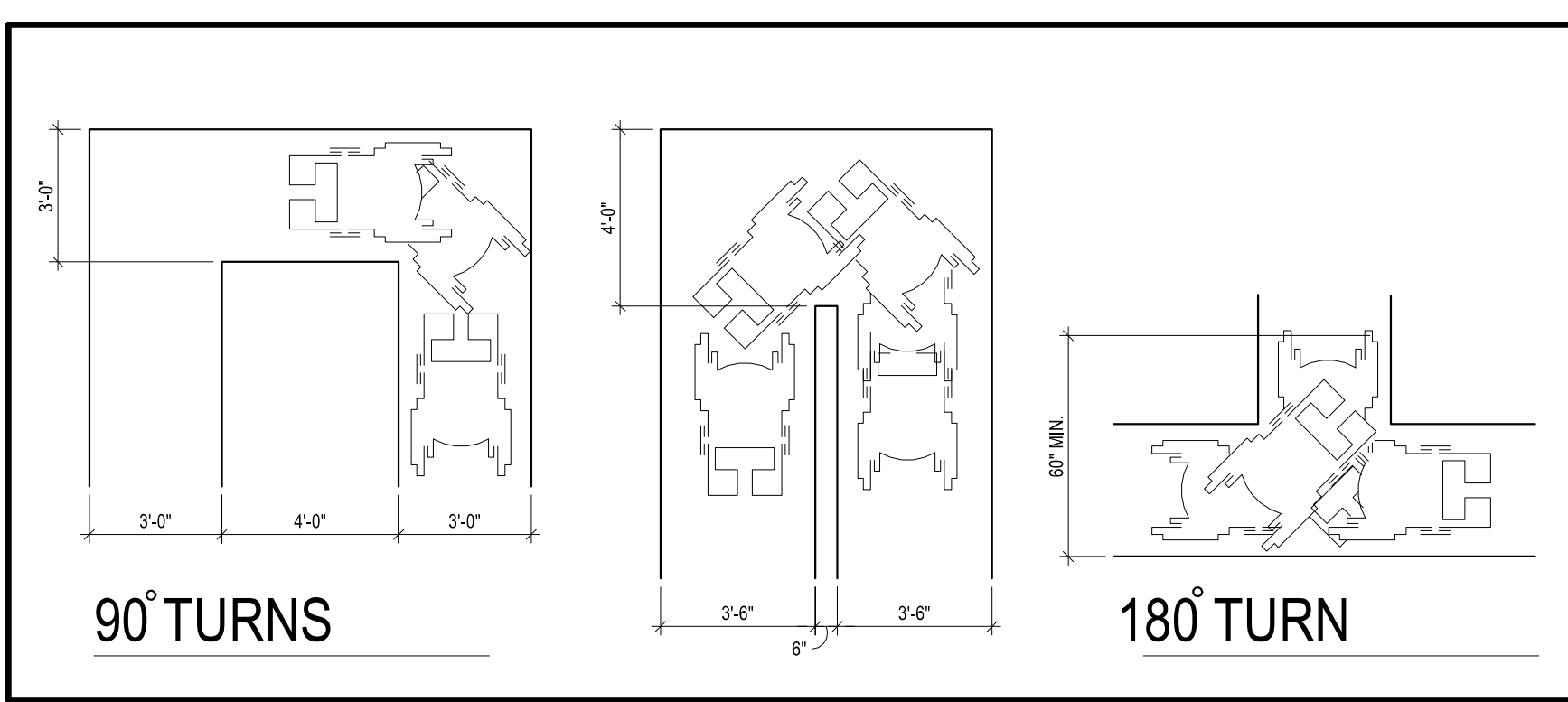
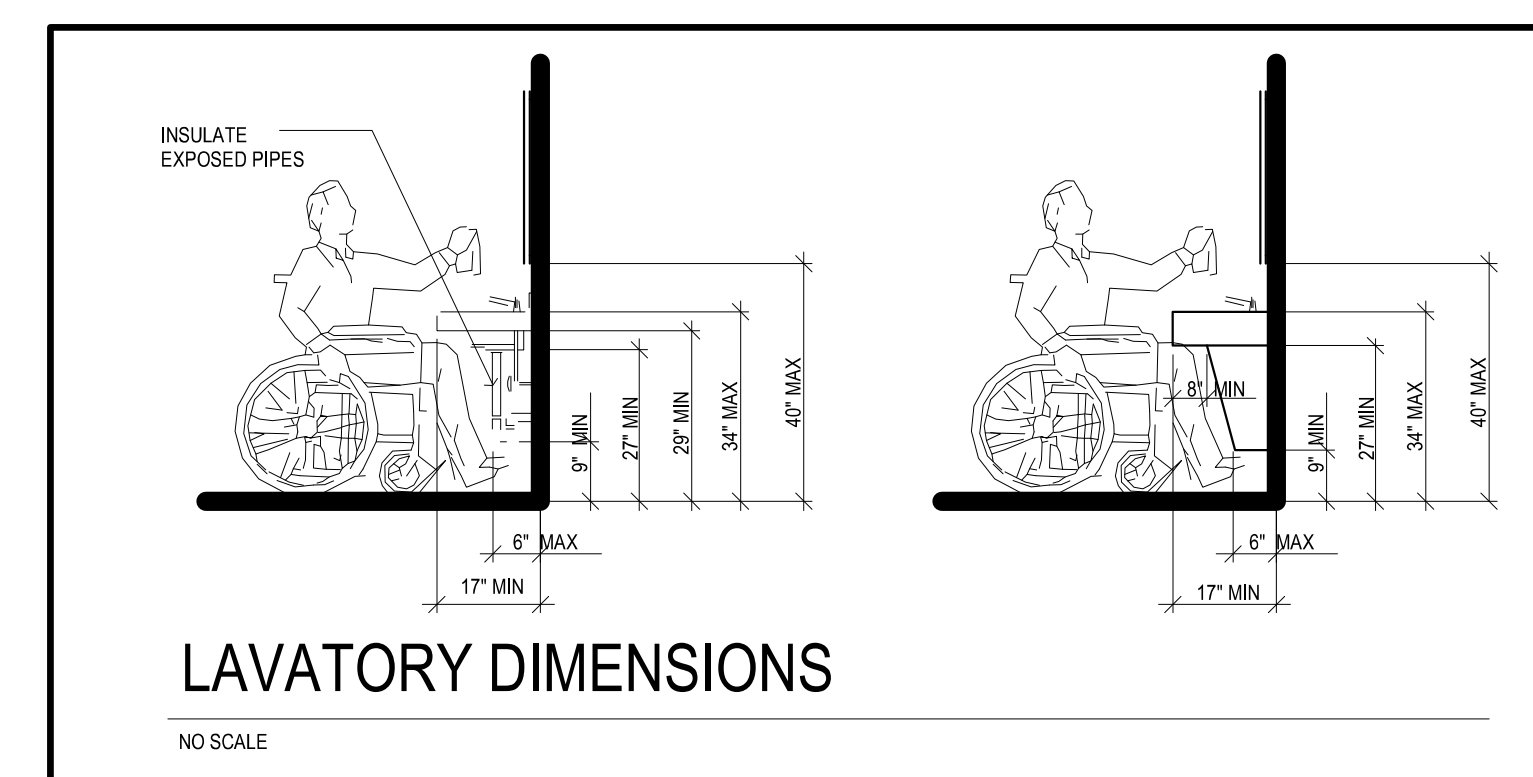


FLOOR ASSEMBLIES



KEYNOTES OVERALL

| | |
|----------|---|
| A0110.01 | FURNITURE, OFCI |
| A0110.02 | REFRIGERATOR, OFCI |
| A0110.03 | OUTDOOR FURNISHING, OFCI |
| A0110.04 | PRINTER, OFCI |
| A0110.05 | FILE CABINET, OFCI |
| A0110.06 | TELEVISION, OFCI |
| A0110.07 | DISHWASHER, OFCI |
| A0110.08 | TOILET PAPER DISPENSER, OFCI |
| A0110.09 | PAPER TOWEL DISPENSER, OFCI |
| A0110.10 | SOAP DISPENSER, OFCI |
| A0110.11 | TOILET SEAT COVER DISPENSER, OFCI |
| A0110.12 | MIRROR, OFCI |
| A0200.02 | (E) BEAM, REF. STRUCT DWGS |
| A0240.01 | DEMOLISH (E) LIGHTING FIXTURE |
| A0240.02 | DEMOLISH (E) DOWNSPOUT |
| A0240.03 | DEMOLISH (E) EXTERIOR STAIR |
| A0240.04 | DEMOLISH (E) DOOR, DOOR FRAME, AND HARDWARE. PATCH AND REPAIR ADJACENT WALL |
| A0240.05 | DEMOLISH (E) INTERIOR WALL, PATCH AND REPAIR ADJACENT WALL, FLOOR, AND CEILING AS REQUIRED TO PROVIDE NEW LIKE CONDITION |
| A0240.06 | DEMOLISH (E) CASEWORK |
| A0240.07 | DEMOLISH (E) DOOR, DOOR FRAME, AND HARDWARE |
| A0240.09 | DEMOLISH (E) WINDOW GLAZING & FRAME |
| A0240.10 | DEMOLISH (E) PLUMBING FIXTURES AND ACCESSORIES |
| A0240.11 | DEMOLISH PORTION OF (E) EXTERIOR WALL FOR NEW OPENING |
| A0240.13 | DEMOLISH PORTION OF (E) WINDOW FOR NEW OPENING |
| A0240.14 | AT NEW OPENING REMOVE AND SALVAGE PORTION OF (E) WOOD WAINSCOTING FOR REUSE. PROTECT THE (E) WAINSCOTING TO REMAIN. REPAIR WAINSCOT TO PROVIDE CONDITION MATCHING ADJACENT SURFACES AFTER APPLICATION OF WOOD FINISH RENOVATION |
| A0240.15 | DEMOLISH (E) WALL BELOW SILL FOR NEW OPENING |
| A0240.16 | DEMOLISH (E) COUNTER TOP |
| A0240.17 | DEMOLISH (E) GYPSUM WALL BOARD CEILING |
| A0240.18 | DEMOLISH (E) FINISH FLOOR AND WALL BASE |
| A0240.19 | DEMOLISH (E) GLUE UP TILE CEILING |
| A0240.20 | DEMOLISH (E) WALL, PROTECT (E) BEAM ABOVE |
| A0240.21 | DEMOLISH (E) TOILET STALL |
| A0240.22 | DEMOLISH (E) SHELVES |
| A0240.23 | DEMOLISH (E) RAILING |
| A0240.24 | DEMOLISH (E) STAIR FINISH |
| A0240.25 | DEMOLISH (E) WD COLUMN, REF STRUCT DWGS |
| A0240.26 | (E) ROOF DRAIN & SCUPPER |
| A0240.27 | DEMOLISH PORTION OF (E) INTERIOR WALL FOR NEW OPENING |
| A0240.28 | REMOVE (E) DECORATIVE WOOD TO EXPOSE (E) HISTORIC SURFACE AND/OR SIGNAGE. CLEAN AND REPAIR AS NEEDED |
| A0240.29 | REPLACE (E) CRAWLSPACE OPENING WITH LOUVERS, REF MECH DWGS |
| A0240.30 | DEMOLISH (E) AWNING |
| A0240.31 | REMOVE (E) DOWNSPOUT AS NEEDED FOR REPAIR WORK AND REINSTALL |
| A0240.32 | DEMOLISH THE DOORS TO (E) CABINET, PATCH AND REPAIR AS NECESSARY TO PROVIDE NEW LIKE CONDITION, REF. 3/A12.01 |
| A0240.33 | DEMOLISH (E) MAIL SORTER |
| A0240.34 | DEMOLISH (E) GLAZING, PROTECT THE SURROUNDING JAMB AND TRIM, PATCH AND REPAIR AS NECESSARY TO INSTALL NEW GLAZING, REF. 1/12.01 |
| A0240.35 | DEMOLISH (E) WAINSCOTING |
| A0240.36 | DEMOLISH PANELS ON (E) DOOR |
| A0240.37 | REPLACE (E) FIRE PLACE OPENING, PATCH AND REPAIR AS REQUIRED TO PROVIDE NEW LIKE CONDITION |
| A0240.38 | REMOVE (E) STUCCO FOR WATERPROOFING, RE-PATCH IT TO MATCH THE SURROUNDING AREA AND PROVIDE A NEW LIKE CONDITION |
| A0240.39 | REMOVE AND REPLACE FLOOR REGISTERS, REF MECH DWGS. |
| A0552.01 | 2"x2" SQ TS GUARDRAIL w/ AIRPLANE CABLE |
| A0553.00 | METAL GRATE, REF STRUCTURAL DWGS |
| A0616.10 | UNDERLAYMENT BELOW THE FINISH FLOOR |
| A0641.01 | PLASTIC LAMINATE BASE CABINATE (PLAM-1), REF MATERIAL LEGEND |
| A0641.02 | PLASTIC LAMINATE UPPER CABINATE (PLAM-1), REF MATERIAL LEGEND |
| A0643.01 | HANDRAIL WITH BRACKET, MOUNTED TO 2" SQ TS SUPPORT POST |
| A1028.01 | ADA COMPLIANT GRAB BARS, REF ADA DETAILS FOR MOUNTING HEIGHT |
| A1236.01 | SOLID SURFACE COUNTERTOP & BACKSPLASH (SURF-1), REF MATERIAL LEGEND |
| A2240.01 | REGULAR KITCHEN SINK, REF PLUMB DWGS |
| A2242.01 | MOP SINK, REF PLUMB DWGS |
| A2242.02 | FLOOR MOUNTED WATER CLOSET, REF PLUMB DWGS |
| A2242.03 | WALL MOUNTED SINK, REF PLUMB DWGS |
| A2242.04 | KITCHEN SINK, REF PLUMB DWGS |
| A2600.01 | REFER TO ELECTRICAL DRAWINGS FOR CONNECTION REQUIREMENTS |
| A2600.03 | ELECTRIC PANEL, REF ELECTRICAL DWGS |



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 ASSESSORS PARCEL NUMBER: 53-352-100

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| PROJECT: | 2146 | |
| DATE: | 12/20/2022 | |
| No. | Description | Date |
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A00.40

1'-4"
1'
9"
6"
3"
0"
SCALE: 3" = 1'-0"

2'-8"
2'
0"
SCALE: 1 1/2" = 1'-0"

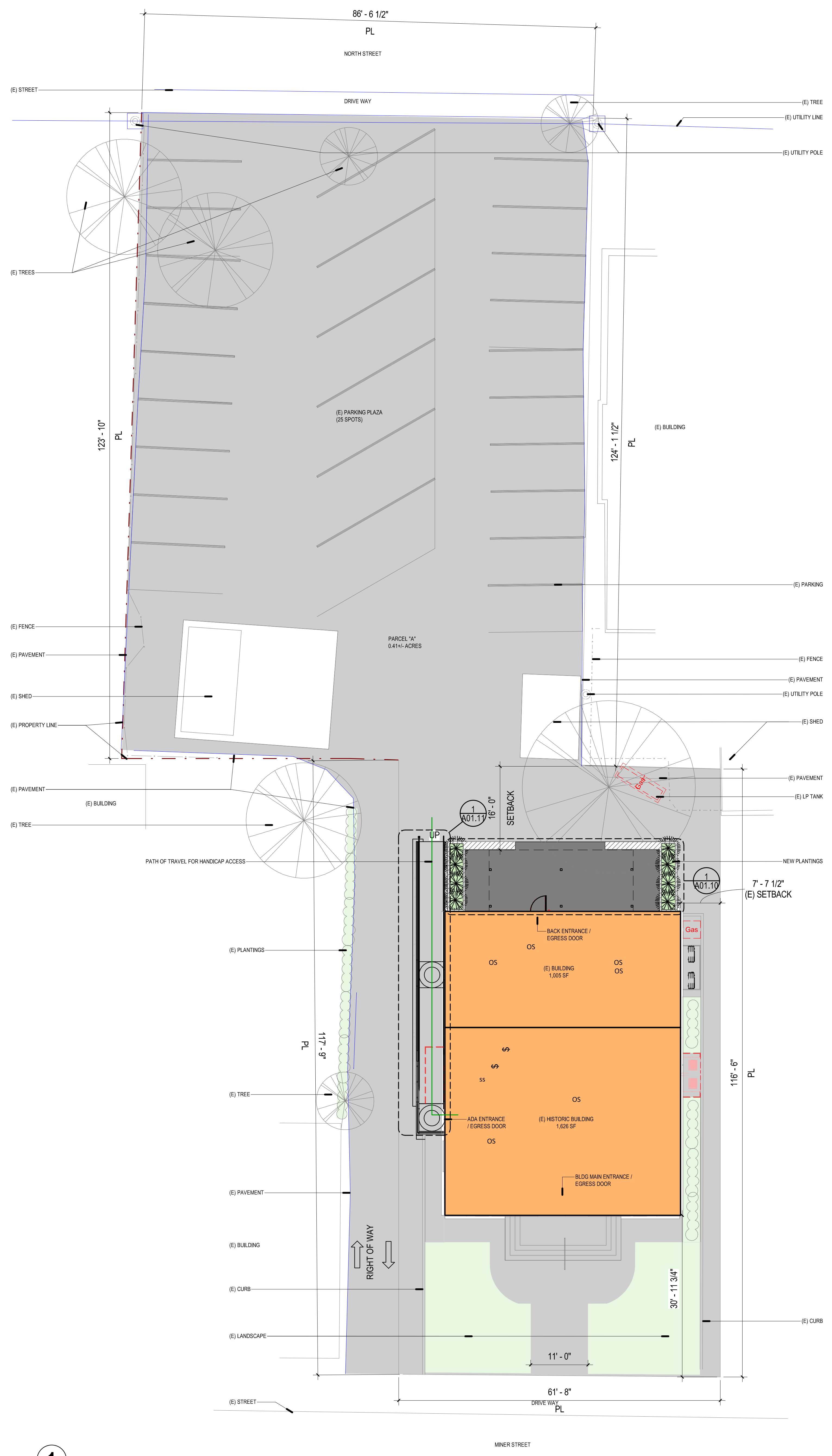
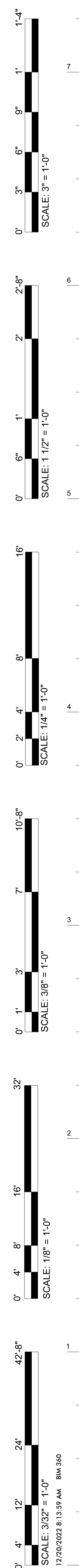
16"
8"
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SCALE: 1/4" = 1'-0"

10'-8"
7'
3'
0"
SCALE: 3/8" = 1'-0"

32"
2'
0"
SCALE: 1/8" = 1'-0"

42'-3"
24"
12"
0"
SCALE: 3/32" = 1'-0"
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1 SITE PLAN, OVERALL
1" = 10'-0"

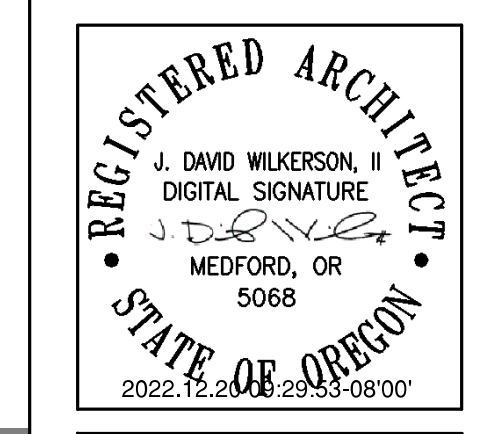
GENERAL NOTES

LEGEND

- (E) ASPHALT
(12987.91 SF)
- NEW CONCRETE
(499 SF)
- (E) LANDSCAPE
(873.91 SF)
- NEW LANDSCAPE
(68 SF)
- (E) CARNEGIE LIBRARY STRUCTURE
- 18" PLANTER WALL
- PROPERTY LINE
- DEMOLISH / REMOVE

KEYNOTES

| # | NOTE |
|---|------|
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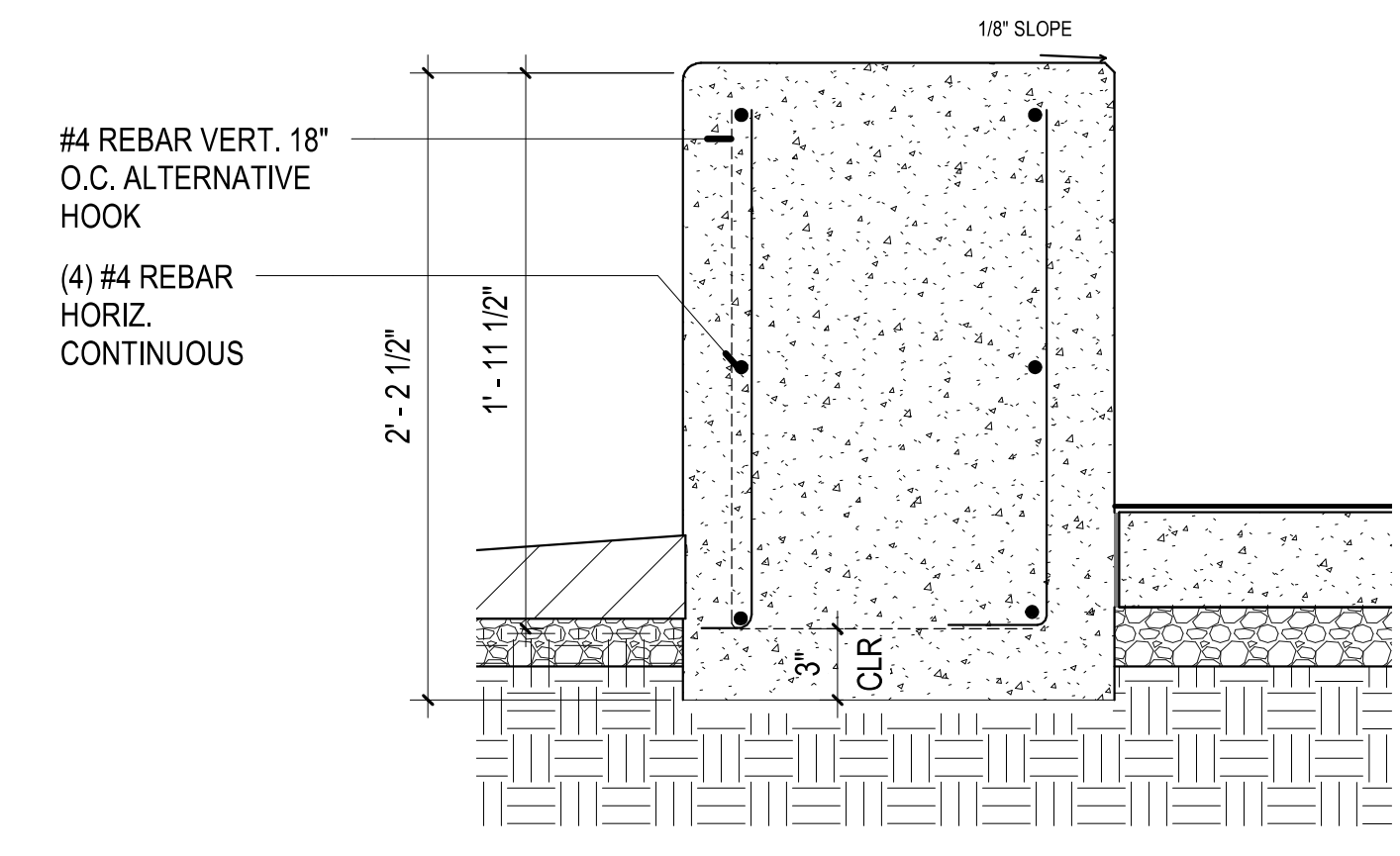
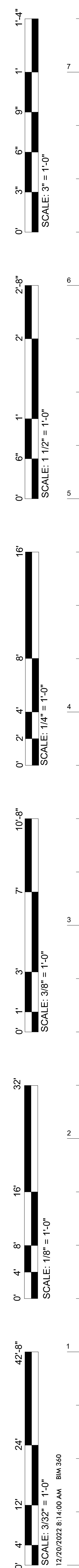
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SISKIYOU ECONOMIC DEVELOPMENT
ASSESSOR'S PARCEL NUMBER: 53-352-100

SITE PLAN

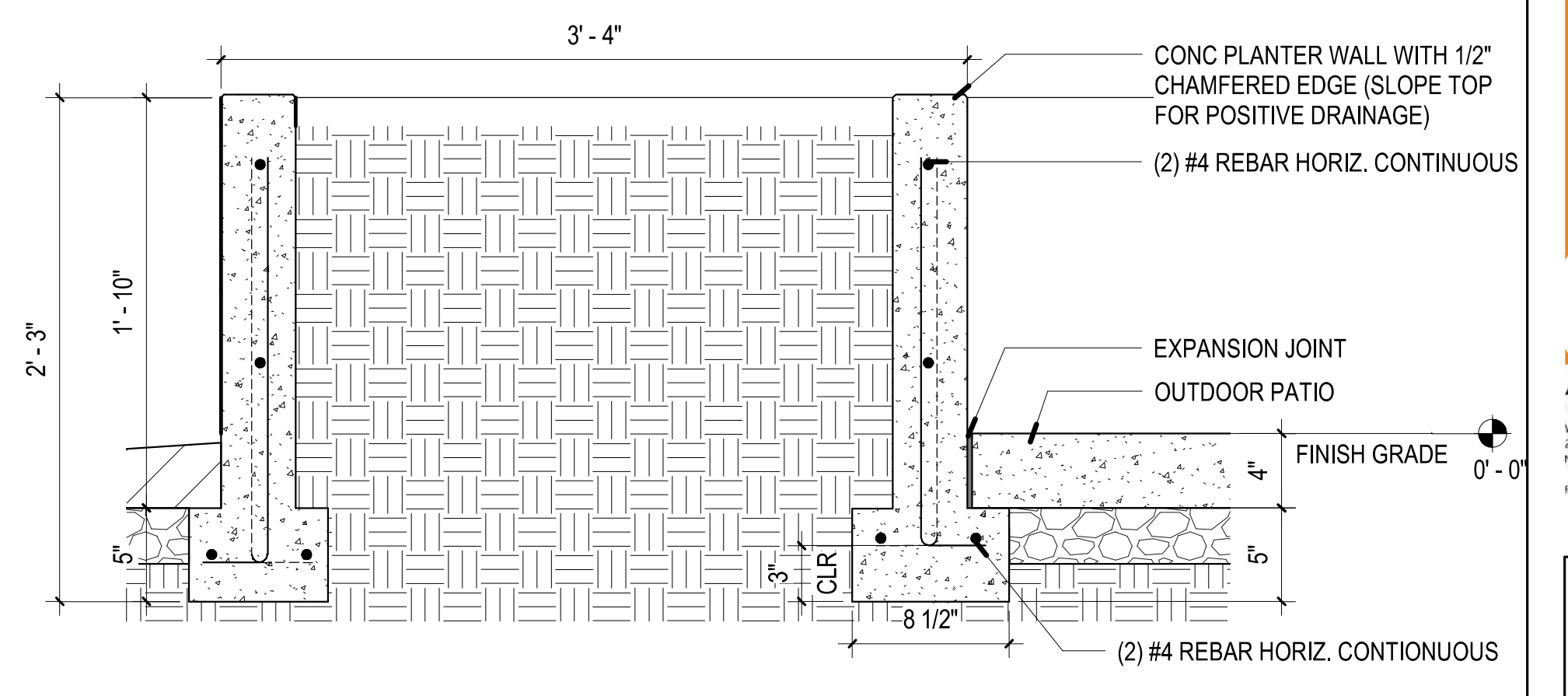
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A01.00



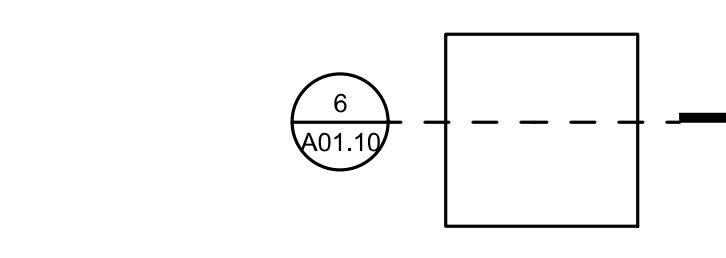
NOTE: TIE HORIZ. & VERT. REBAR AT EVERY BAR INTERSECTION

4 SEATING WALL SECTION, TYP.
1 1/2" = 1'-0"



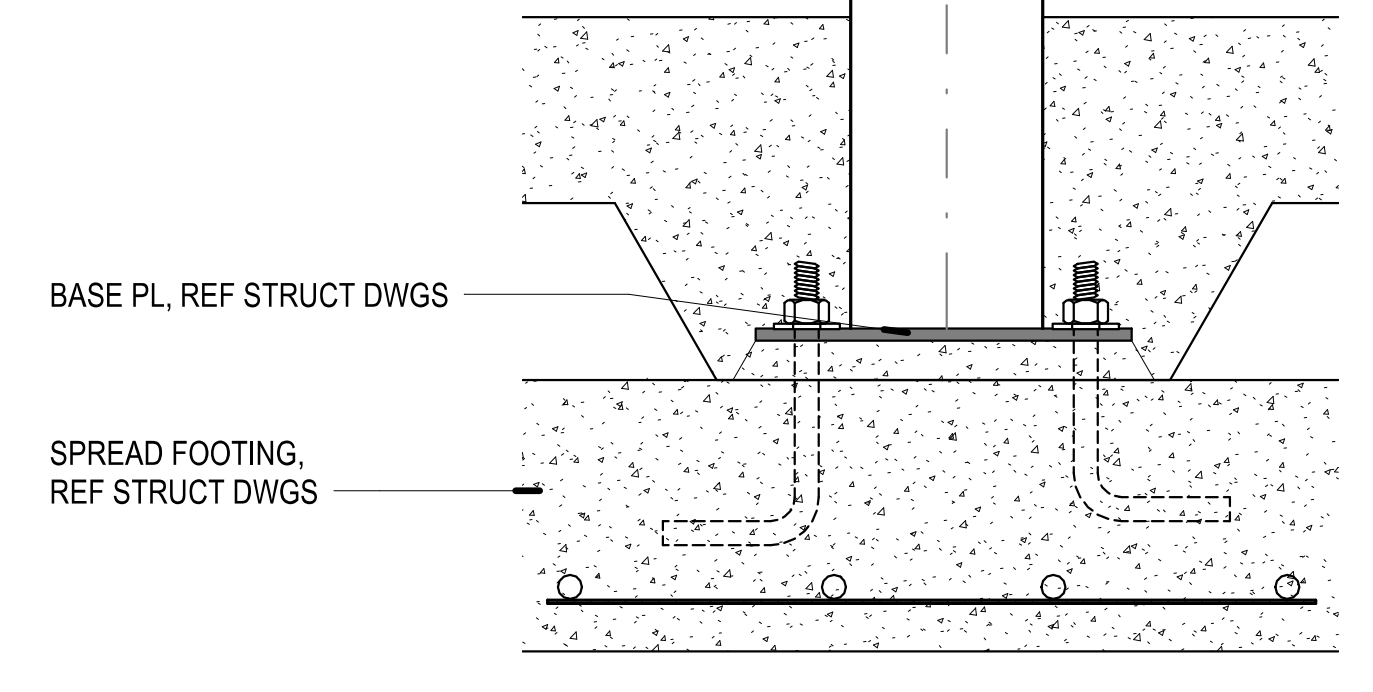
NOTE: TIE HORIZ. & VERT. REBAR AT EVERY BAR INTERSECTION

3 PLANTER SECTION, TYP.
1 1/2" = 1'-0"

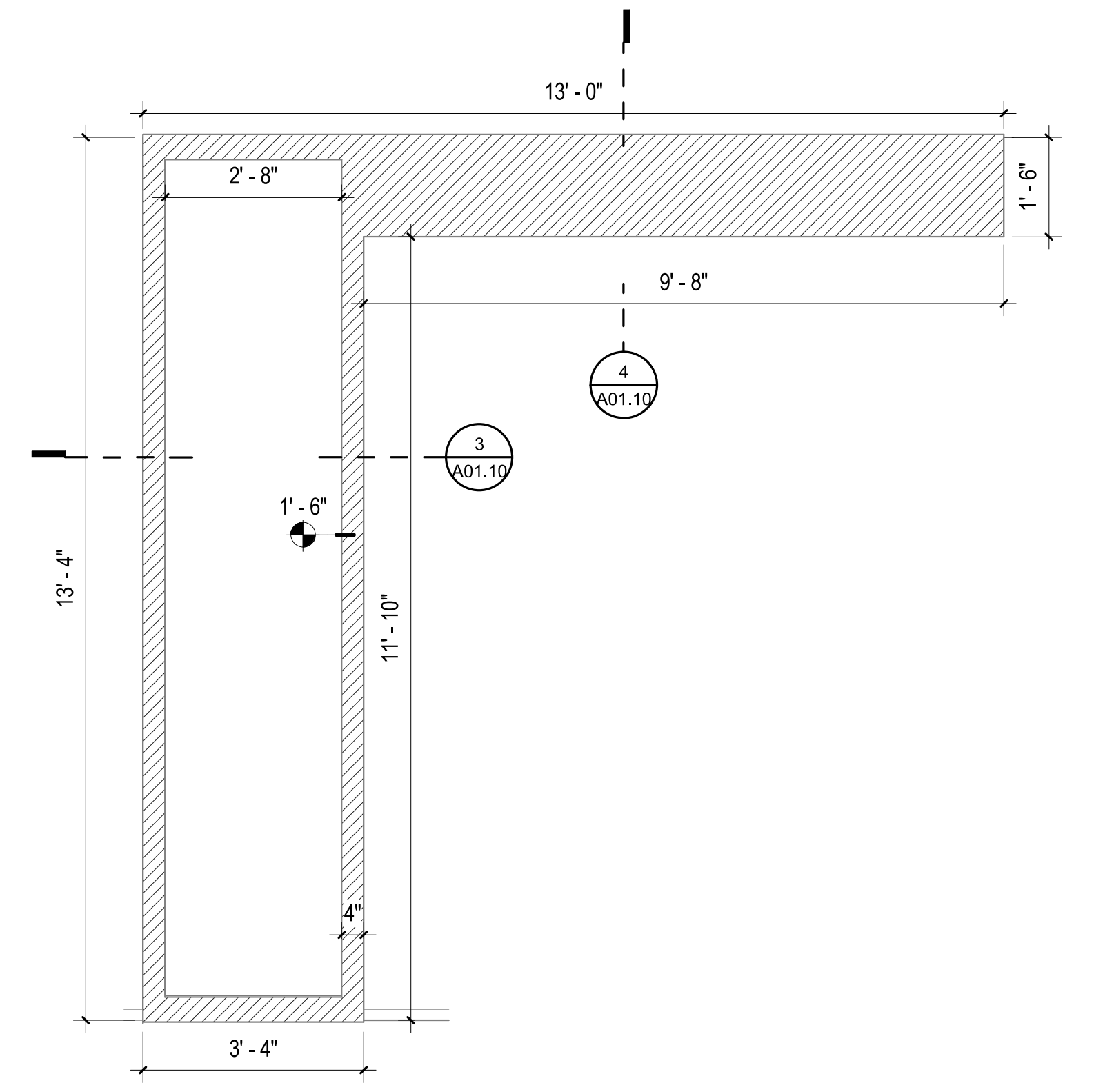


5 STEEL COLUMN
3" = 1'-0"

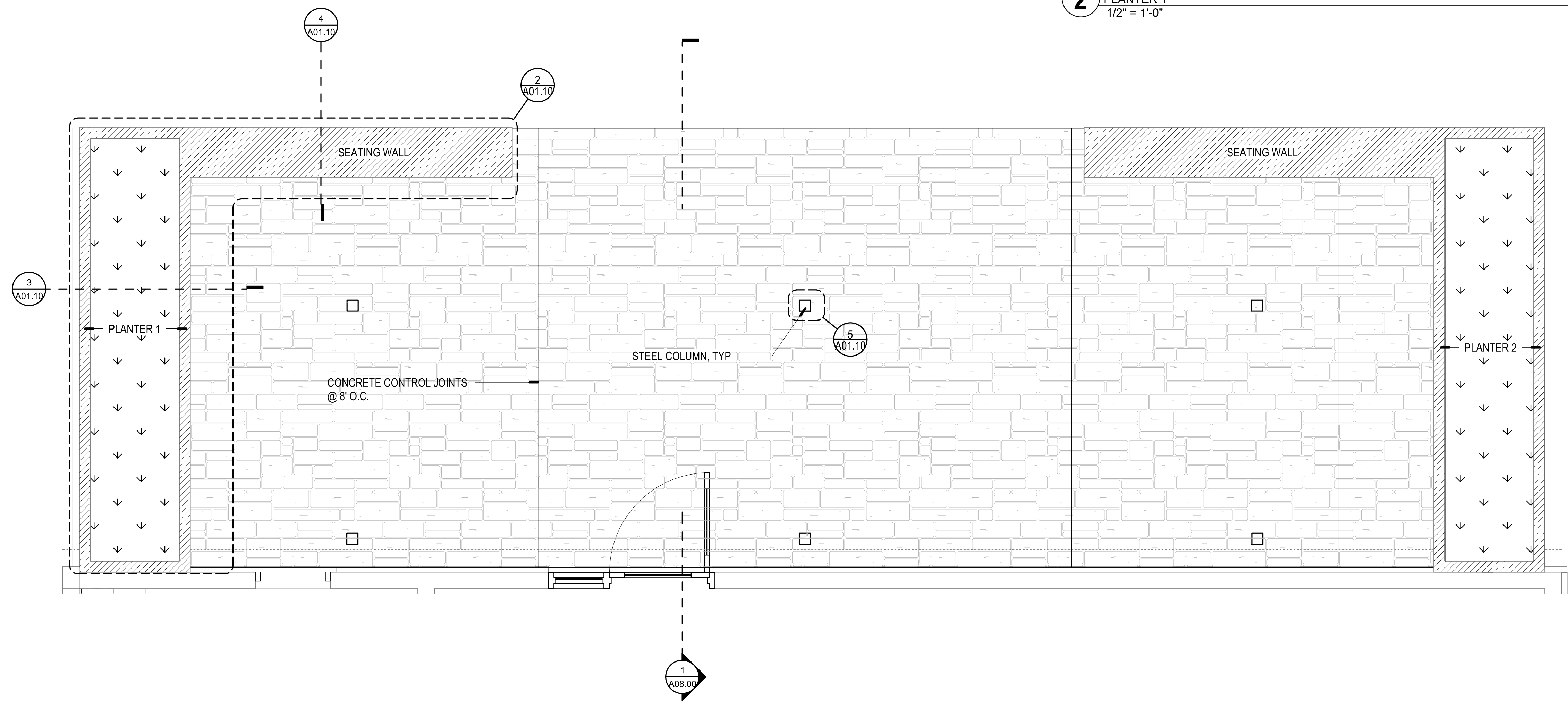
COLUMN, BASE PLATE AND ANCHOR BOLTS, REF STRUCT DWGS, COLUMN SHALL BE PLUMB AND BASE PLATES SHALL BE LEVEL



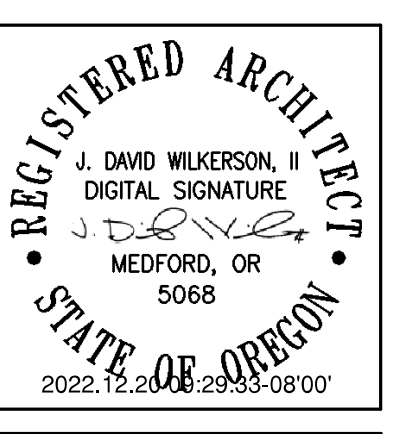
6 BASE @ STEEL COLUMN
3" = 1'-0"



2 PLANTER 1
1/2" = 1'-0"



1 SITE PLAN, ENLARGED PATIO
1/2" = 1'-0"

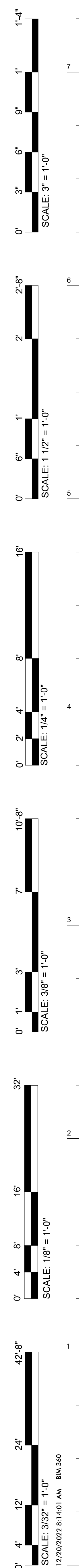


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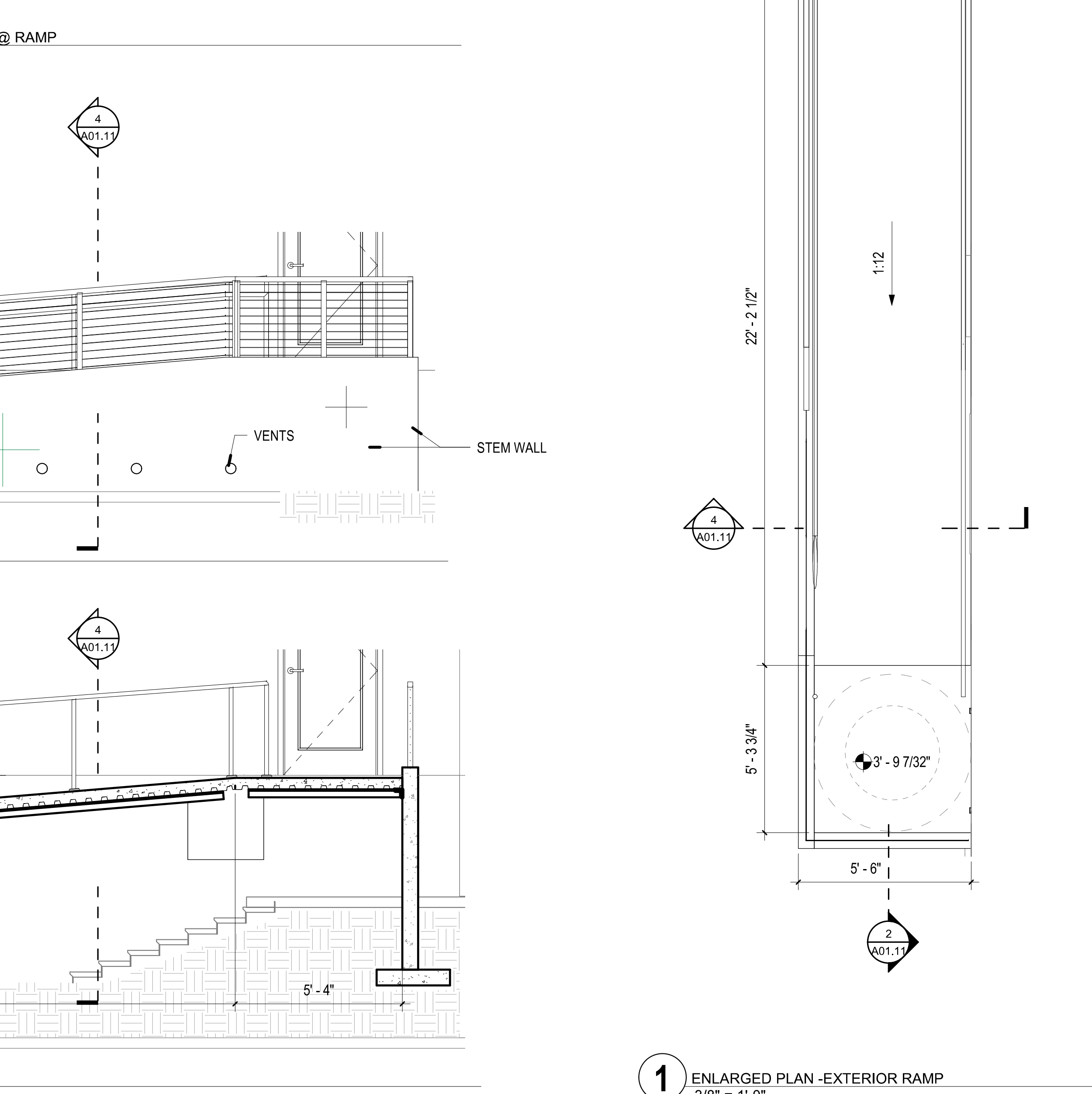
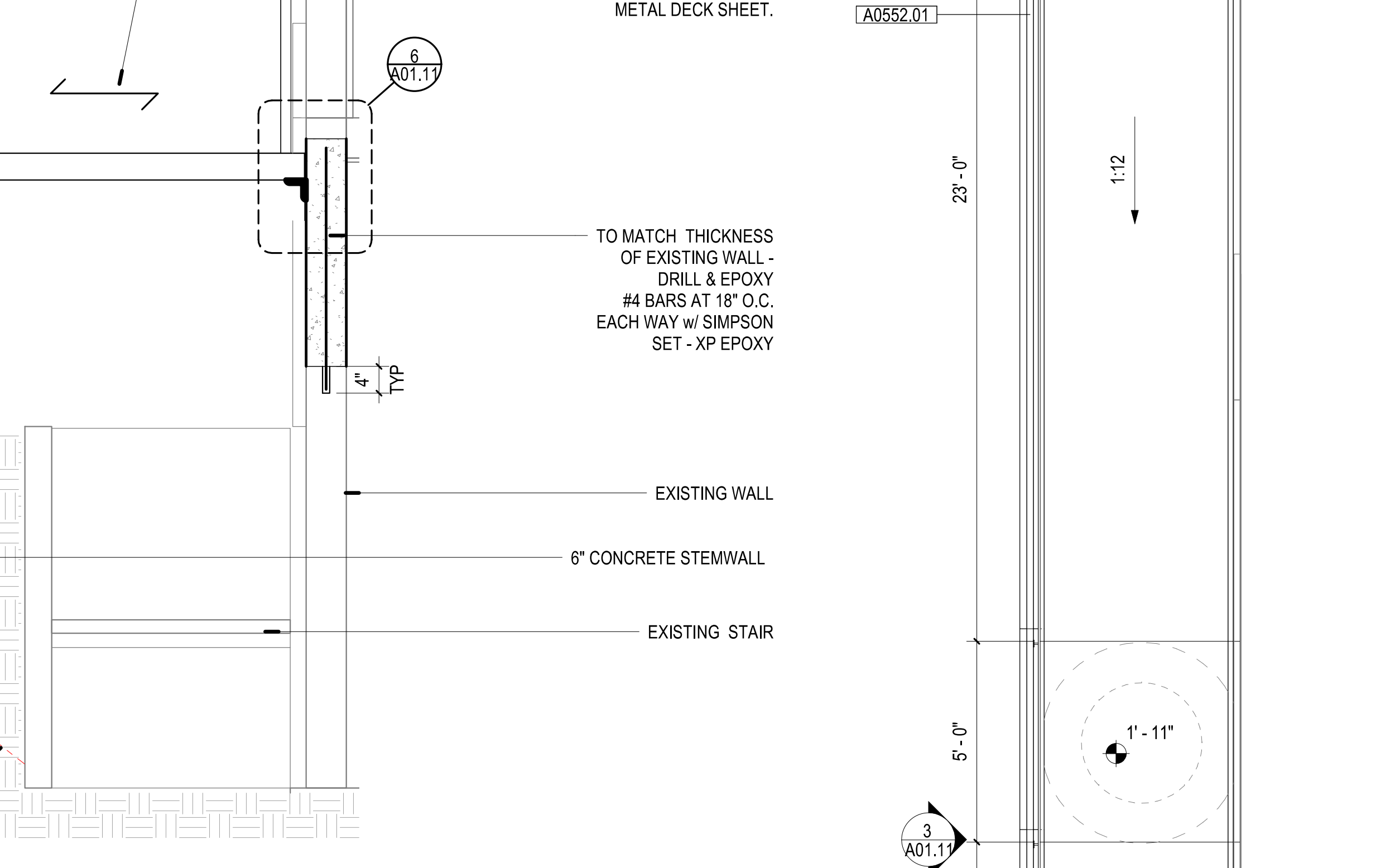
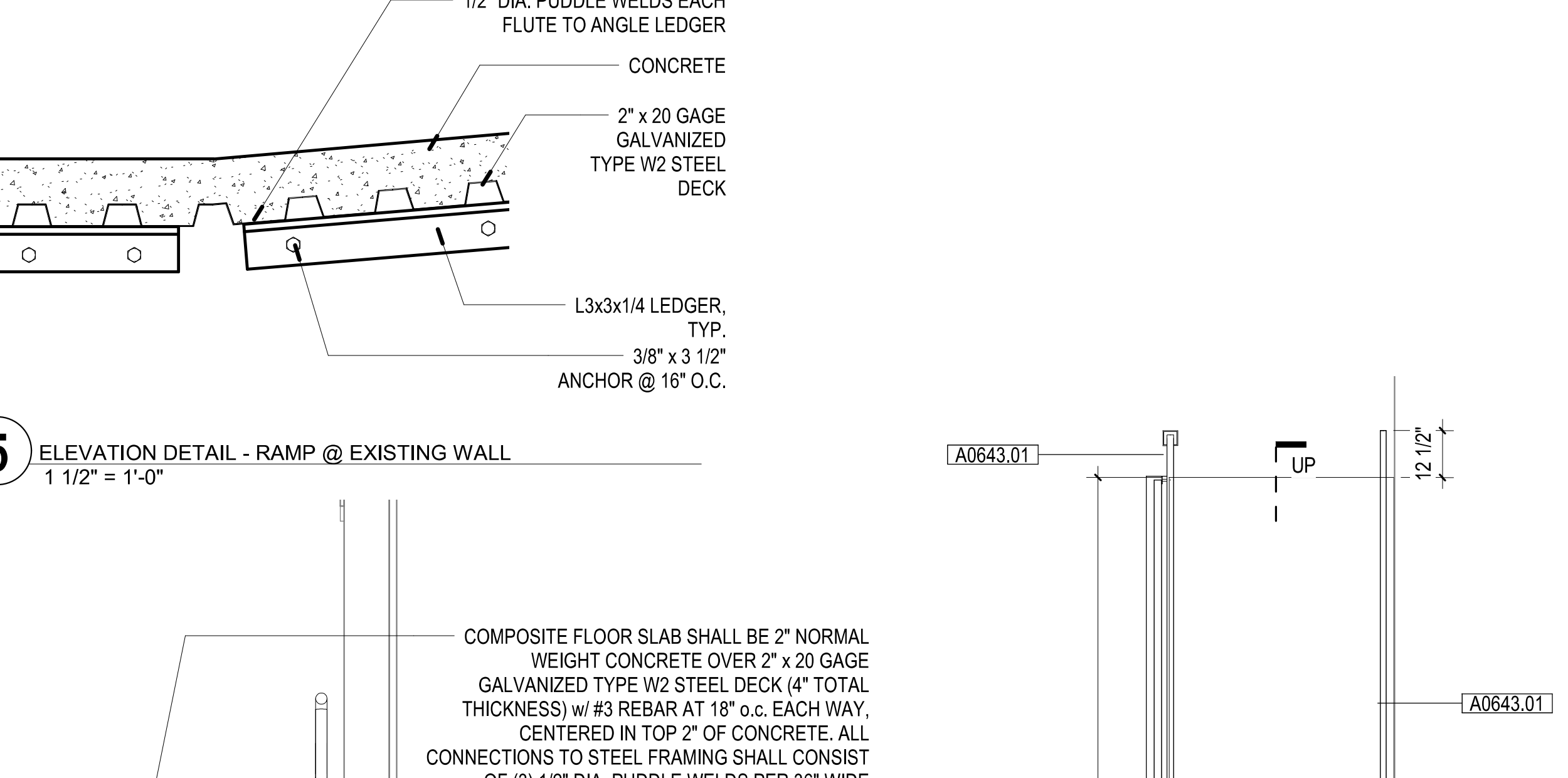
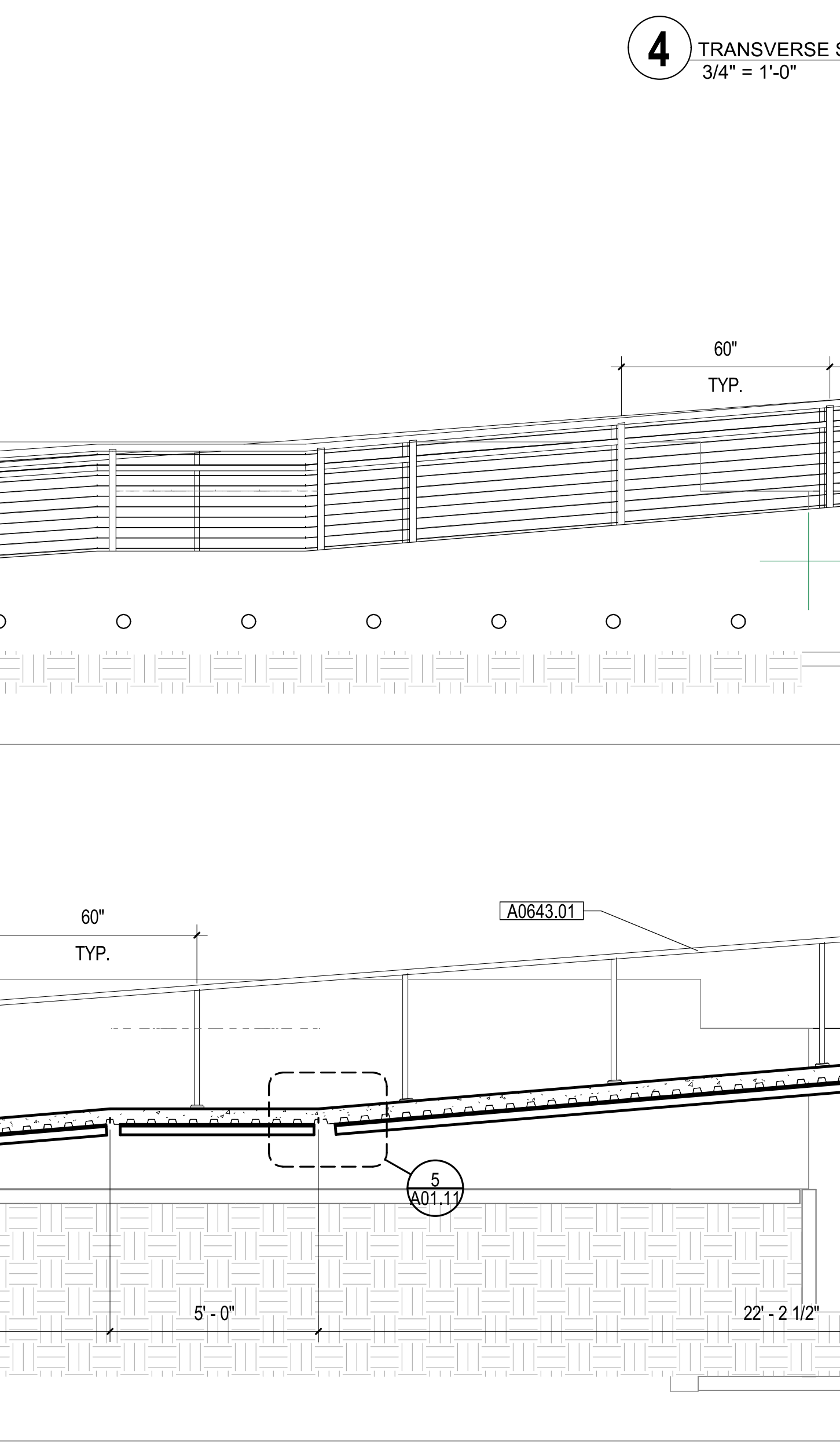
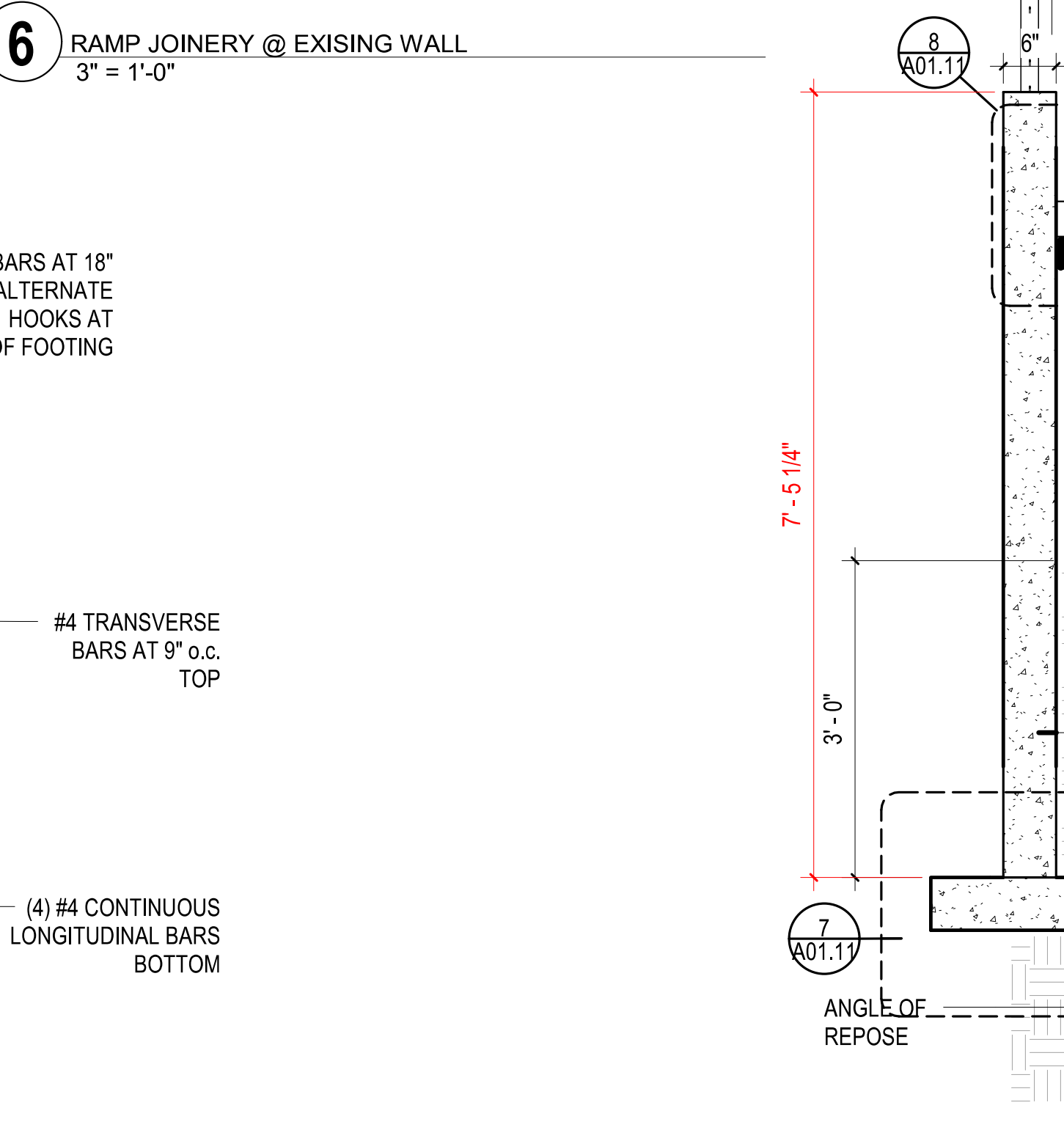
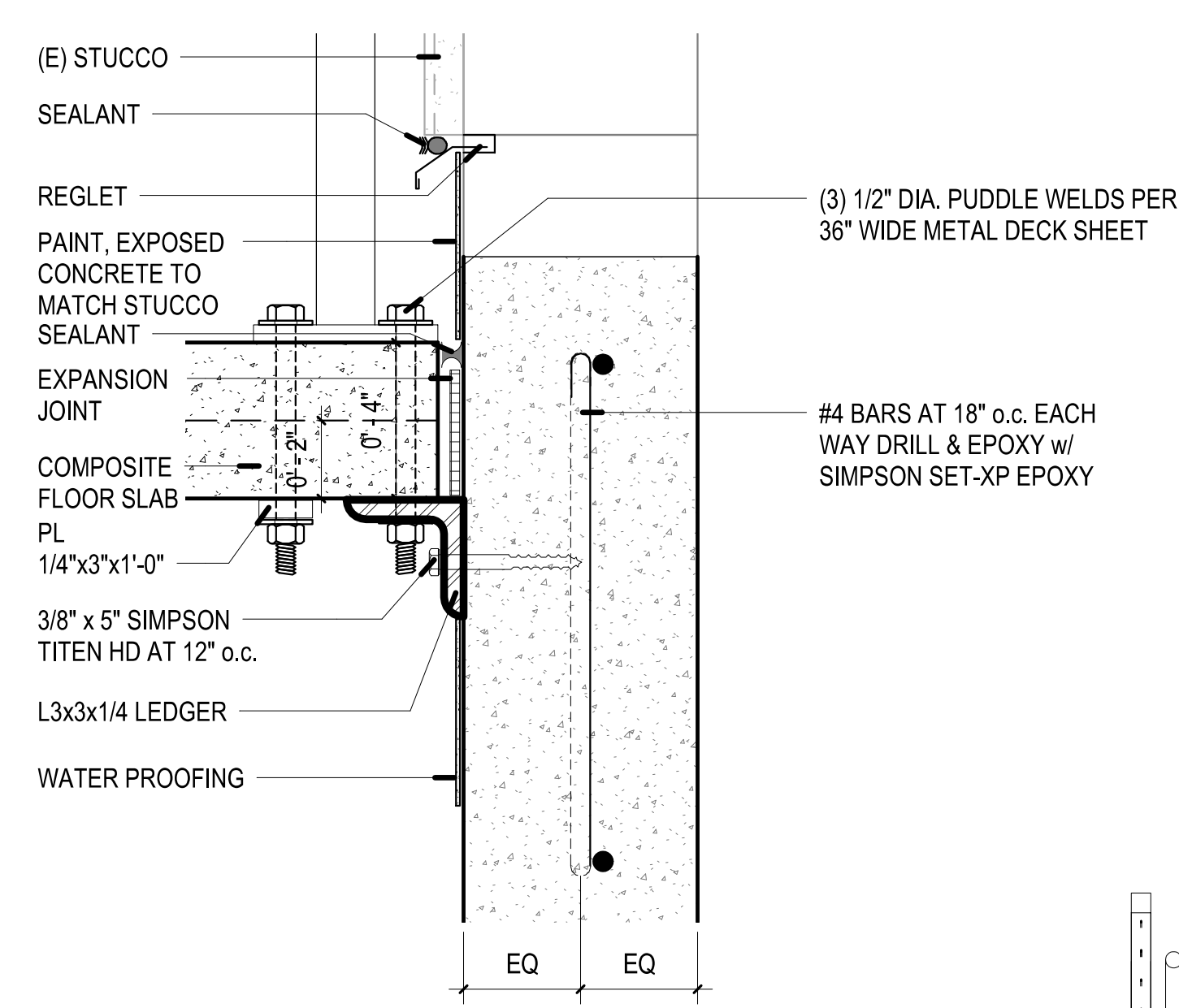
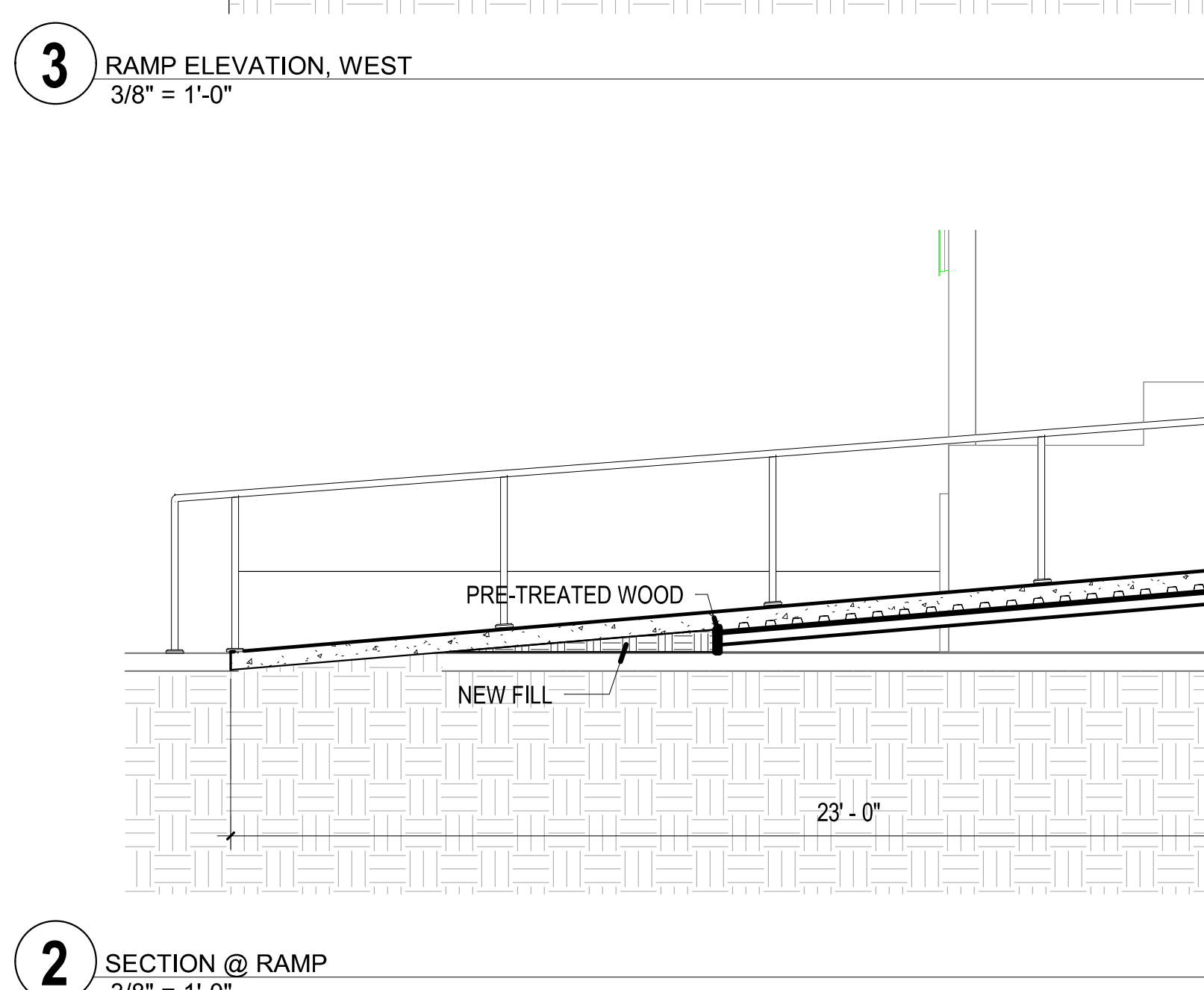
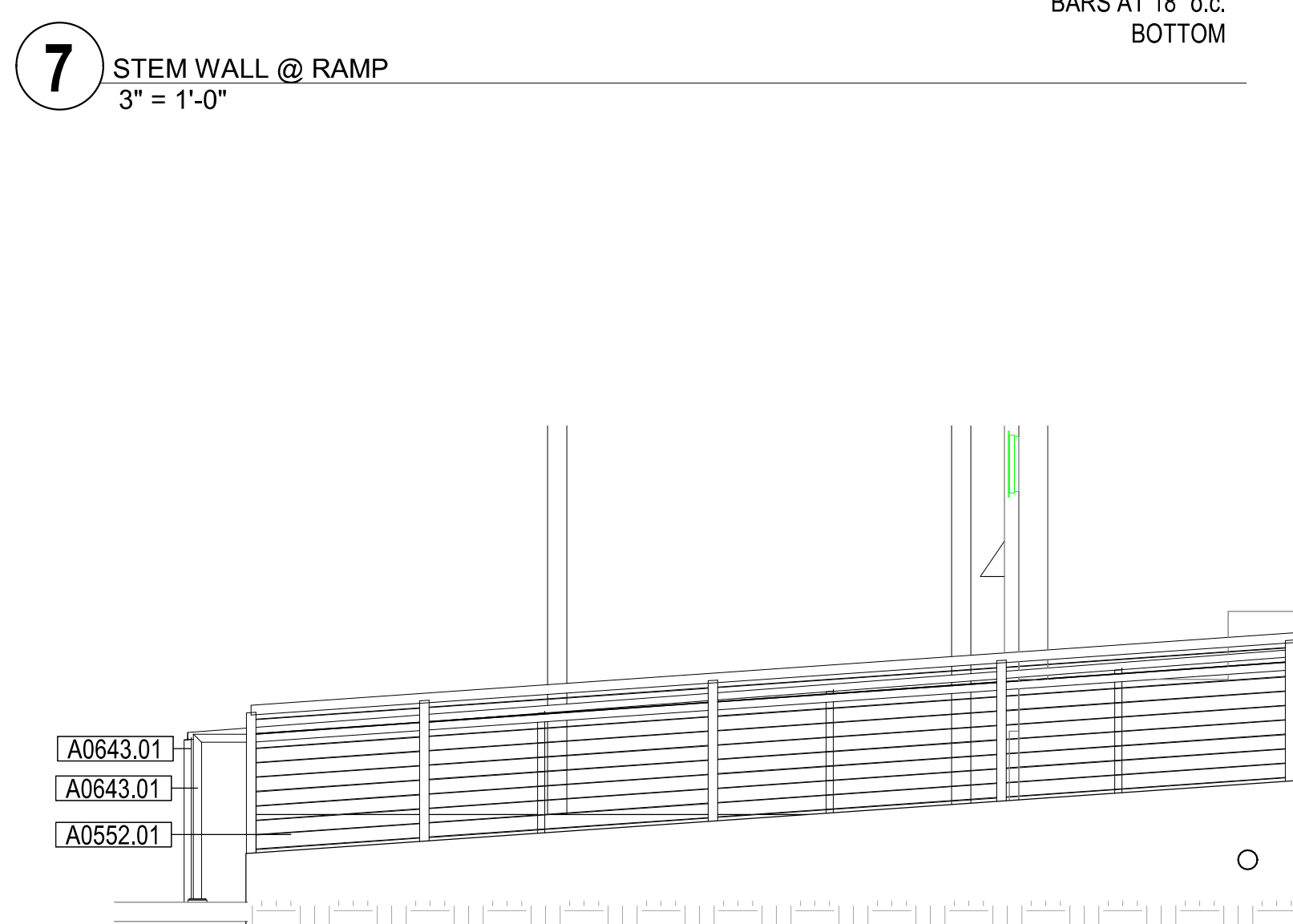
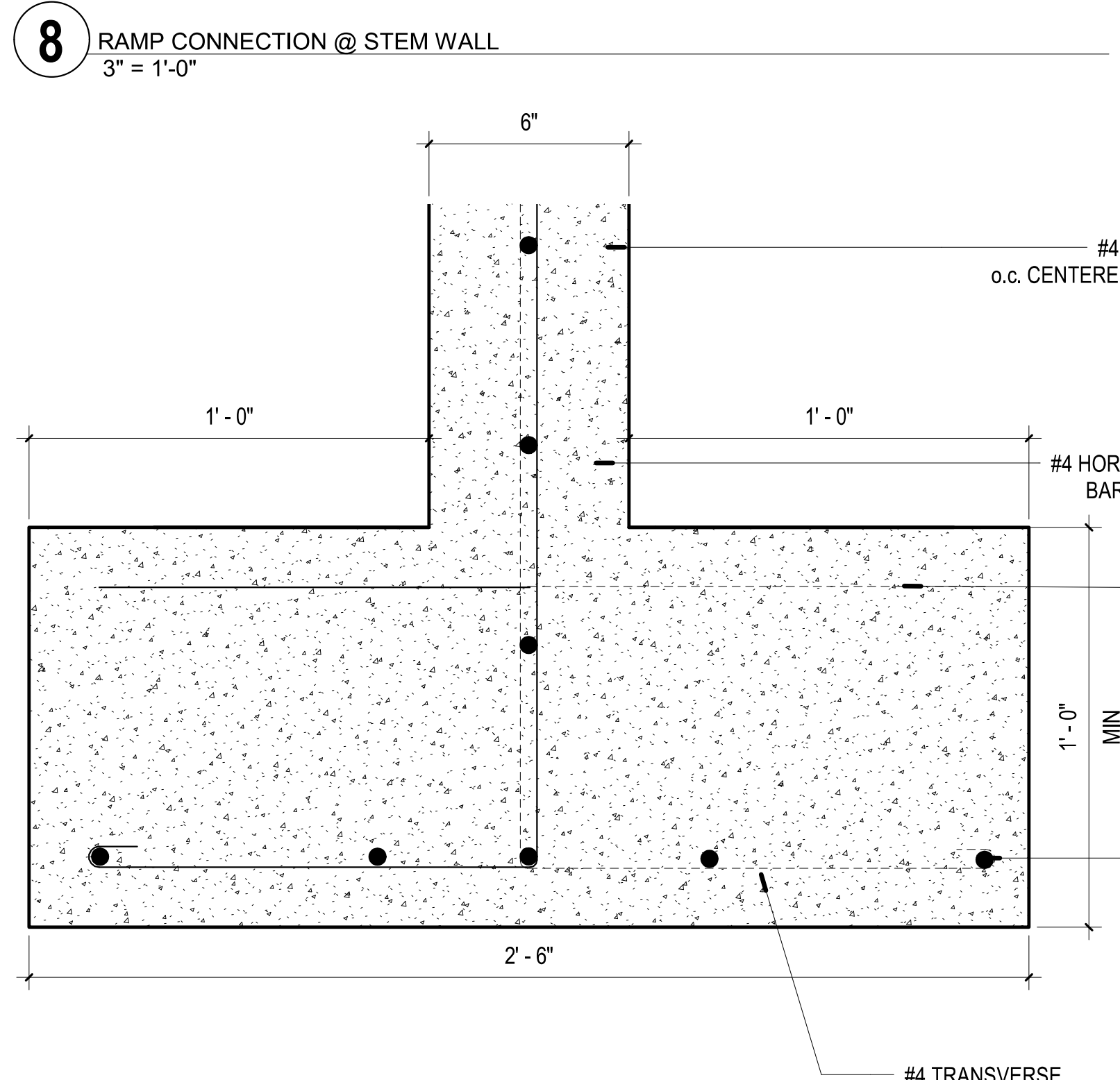
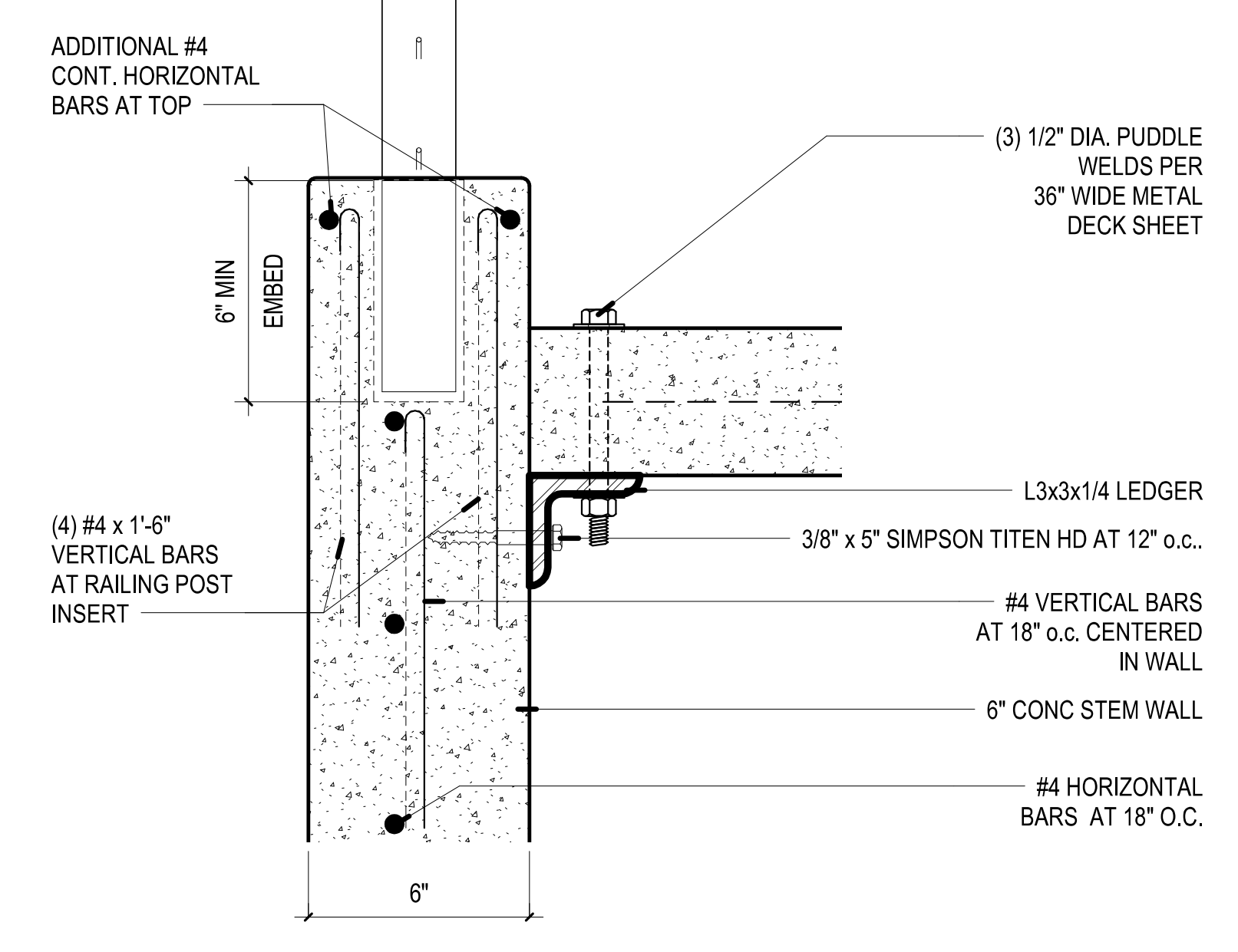
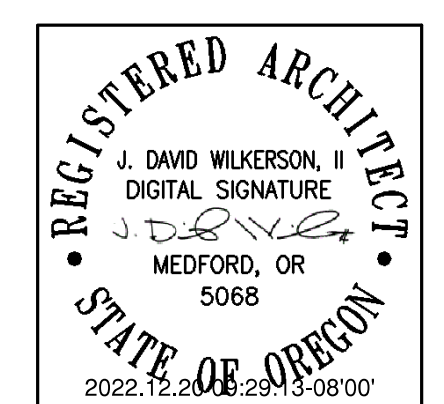
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SISKIYOU ECONOMIC DEVELOPMENT
ASSESSOR'S PARCEL NUMBER: 53-352-100
SITE DETAILS - PATIO & BALCONY

| PROJECT: | | 2146 |
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| DATE: | | 12/20/2022 |
| No. | Description | Date |
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A01.10



| # | NOTE |
|----------|---|
| A0552.01 | 2"x2" SQ TS GUARDRAIL w/ AIRPLANE CABLE |
| A0643.01 | HANDRAIL WITH BRACKET, MOUNTED TO 2" SQ TS SUPPORT POST |



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 ASSESSOR'S PARCEL NUMBER: 53-352-100
SITE DETAILS - RAMP

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| PROJECT: | 2146 |
| DATE: | 12/20/2022 |
| No. Description Date | |
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A01.11

1'-4"
1'
9"
6"
3"
0'
SCALE: 3" = 1'-0"

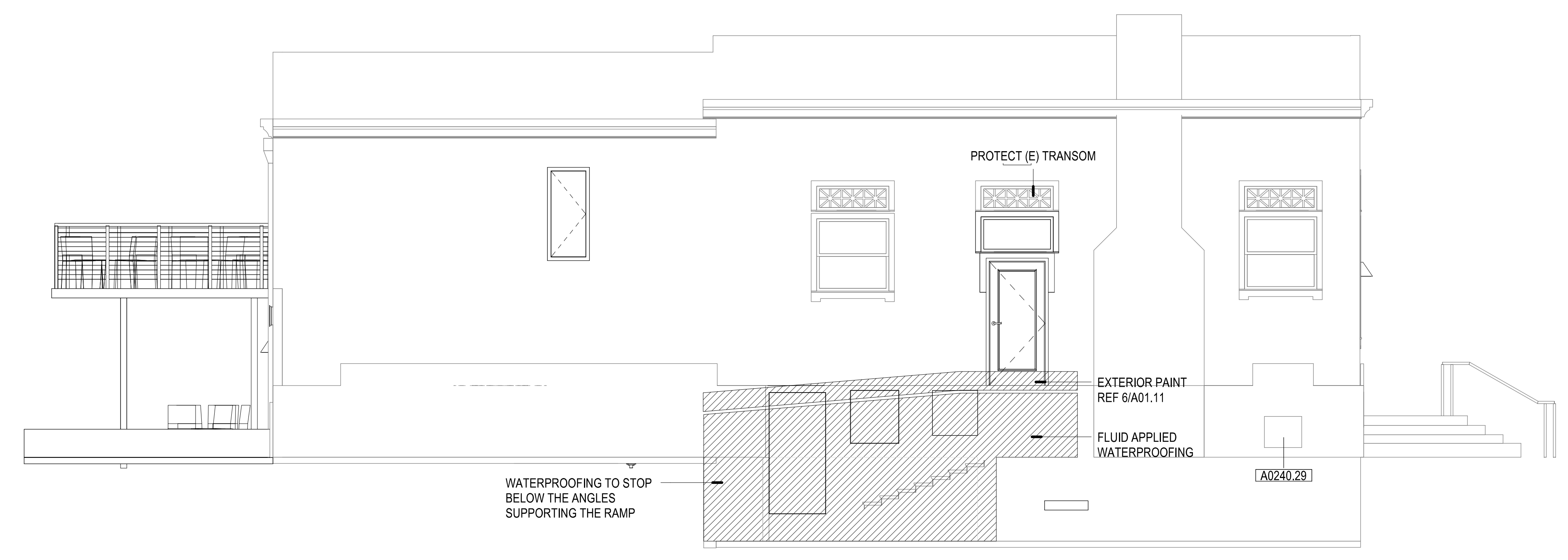
2'-8"
2'
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6"
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SCALE: 1 1/2" = 1'-0"

16"
8"
4"
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SCALE: 1/4" = 1'-0"

10'-8"
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42'-8"
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2 BUILDING ELEVATION - WEST WALL WATER & DAMP PROOFING
1/4" = 1'-0"



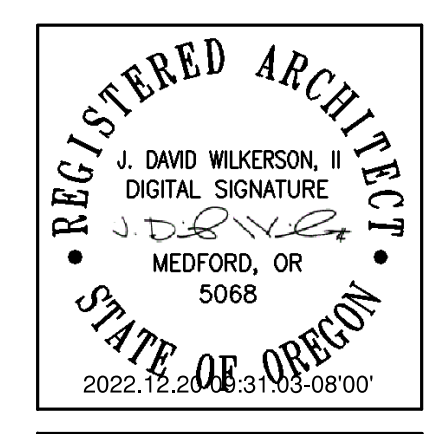
1 BUILDING ELEVATION - WEST WALL (E) STUCCO DEMOLITION
1/4" = 1'-0"

GENERAL NOTES

1. -

KEYNOTES

| # | NOTE |
|----------|---|
| A0240.29 | REPLACE (E) CRAWLSPACE OPENING WITH LOUVERS, REF MECH DWGS |
| A0240.38 | REMOVE (E) STUCCO FOR WATERPROOFING. RE-PATCH IT TO MATCH THE SURROUNDING AREA AND PROVIDE A NEW LIKE CONDITION |



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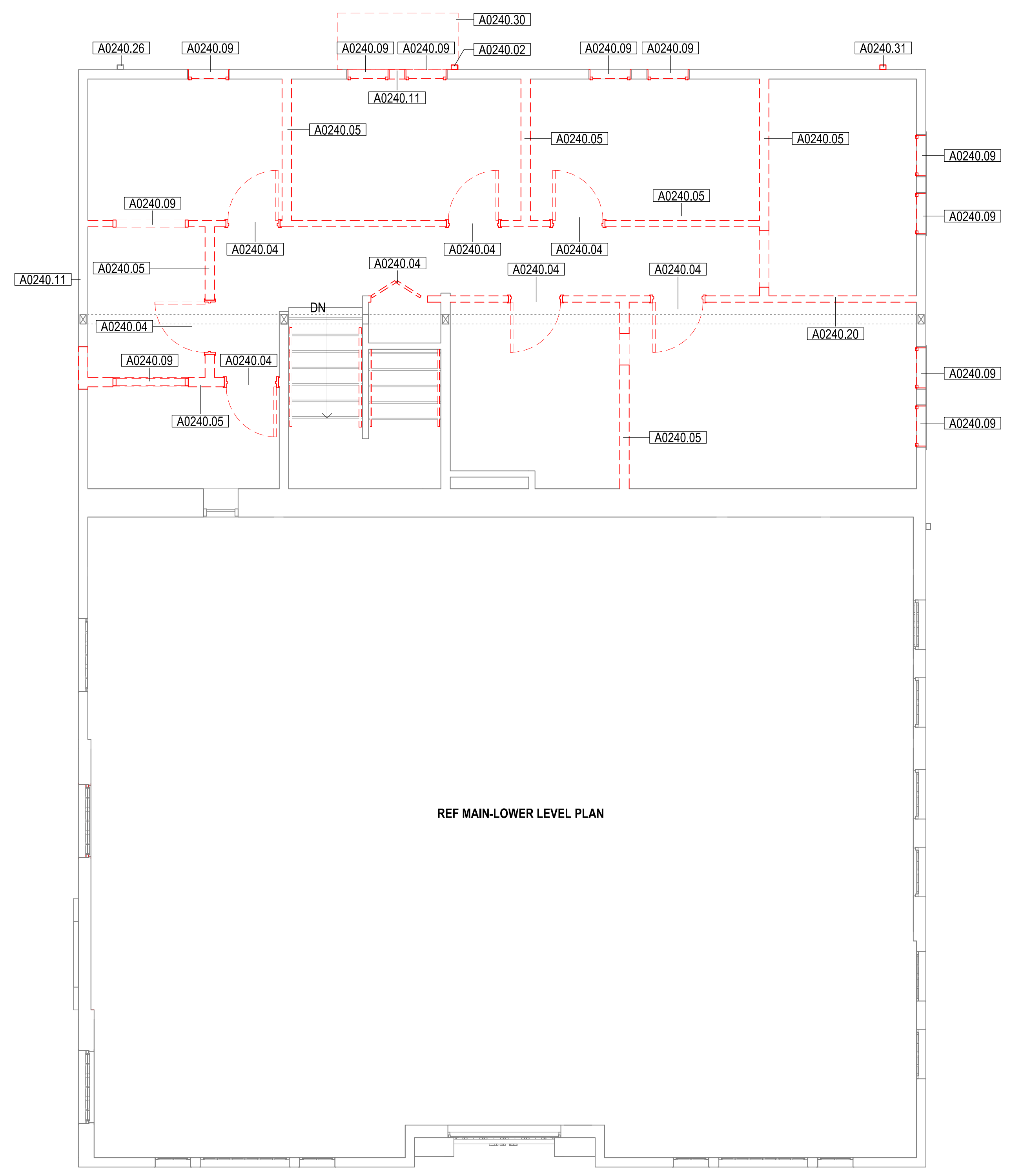
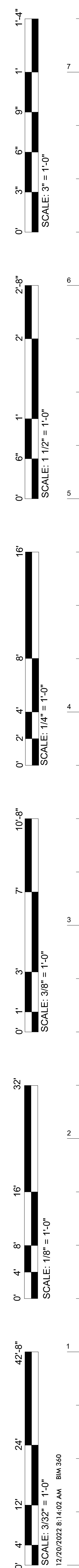
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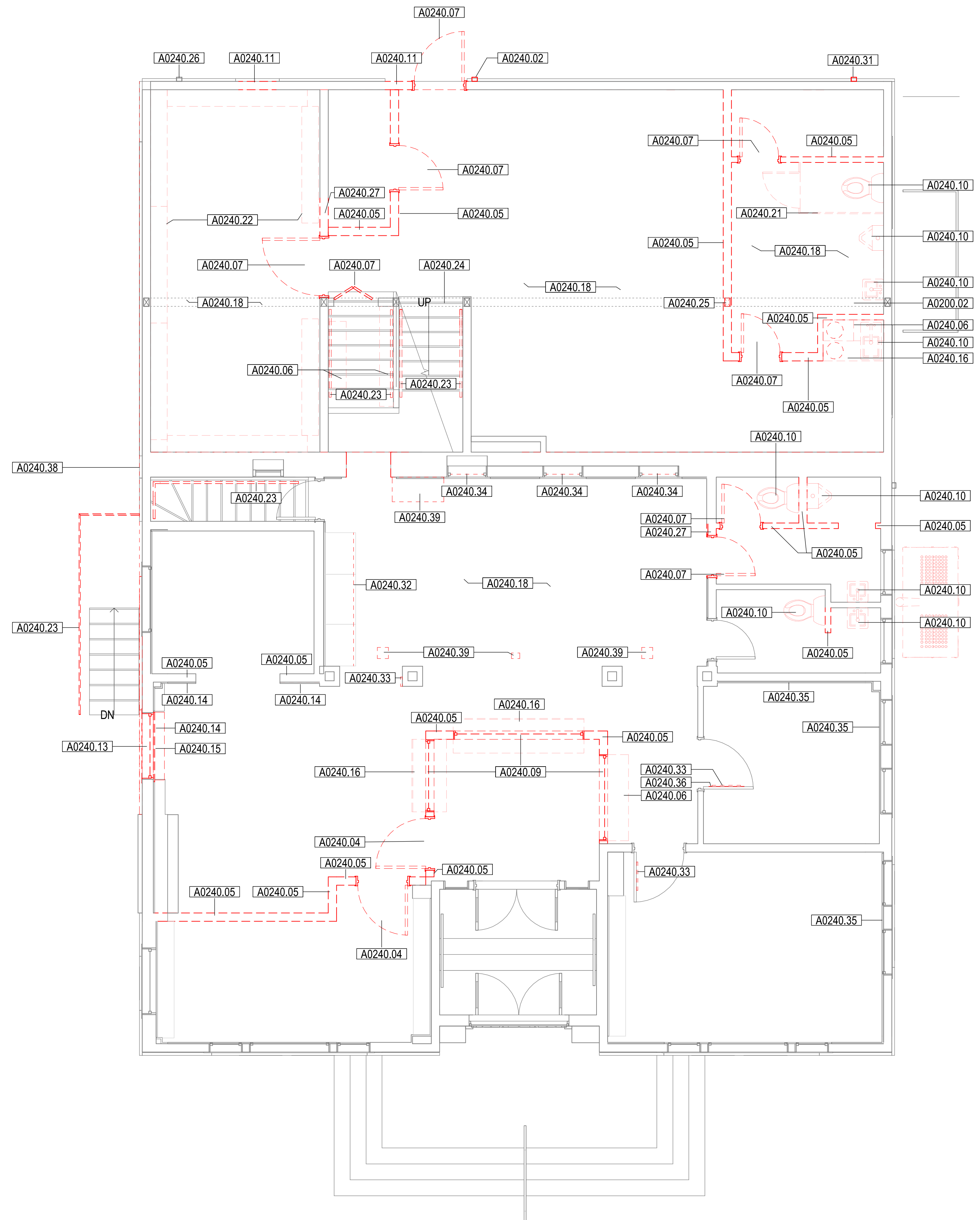
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A01.12

WATERPROOFING AND DETAILS



3 DEMO FLOOR PLAN - MAIN-UPPER LEVEL
1/4" = 1'-0"



2 DEMO FLOOR PLAN - LOWER-MAIN LEVEL
1/4" = 1'-0"

GENERAL NOTES

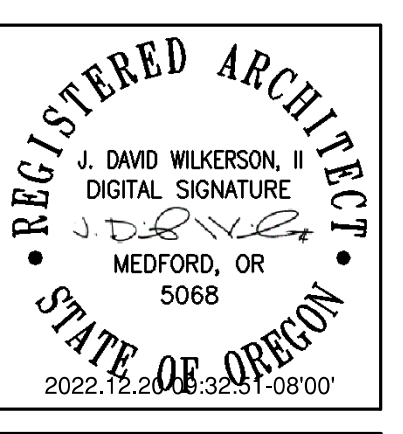
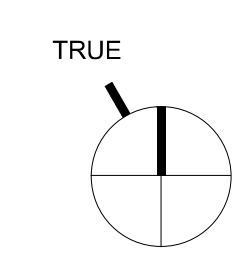
- THE CONTRACTOR SHALL:
- A. COORDINATE ALL DEMOLITION/PHASING EFFORTS WITH THE ARCHITECT AND OWNER'S REPRESENTATIVES. EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION OF OWNER'S OPERATIONS AND TO PROVIDE BUILDING USER'S SAFETY. EXCESSIVE NOISE OR VIBRATIONS SHALL BE PRE-APPROVED AND COORDINATED WITH THE OWNER'S REPRESENTATIVE.
 - B. DISCONNECT & CAP UTILITIES AS NEEDED PER CURRENT APPLICABLE CODES.
 - C. VERIFY ALL EXISTING CONSTRUCTION, DIMENSIONS AND ELEVATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
 - D. THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE ALL MATERIALS - CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO WORK BEING DONE.
 - E. PROVIDE PROTECTION FOR ALL EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO ANY DEMOLITION OR CONSTRUCTION RELATED INCIDENT PERFORMED UNDER THIS CONTRACT.
 - F. REPAIR OR REPLACE ITEMS THAT ARE DAMAGED AS A RESULT OF DEMOLITION OR CONSTRUCTION TO MATCH EXISTING FINISH AND/OR CONDITION.
 - G. EXISTING MATERIALS SHALL NOT BE REUSED UNLESS NOTED OTHERWISE, OR AS AUTHORIZED BY THE ARCHITECT.
 - J. PATCH FLOOR AND CEILING PENETRATIONS RESULTING FROM REMOVAL, OR REROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, ETC. FINISH AS REQUIRED FOR NEW OR EXISTING ADJACENT SURFACES.
 - K. CAP ALL DISCONNECT MECHANICAL PIPING LINES WITHIN THE WALL OR FLOOR PATCH AND FINISH AS REQUIRED TO MATCH NEW OR EXISTING ADJACENT SURFACES.
 - L. CONTRACTOR SHALL V.I.F. THAT THE AREA BEHIND THE EXISTING WALL IS VACANT OF ALL MECHANICAL, PLUMBING, & ELECTRICAL EQUIPMENT, AND OR STRUCTURAL COLUMNS BEFORE PROCEEDING WITH WALL DEMOLITION. PROMPTLY NOTIFY ARCHITECT IF MEP EQUIPMENT OR STRUCTURAL COLUMNS ARE DISCOVERED.
 - M. CONTRACTOR TO PROVIDE ANY TEMPORARY ROADS OR CROSSINGS AS REQUIRED FOR EXECUTION OF THE CONTRACT. ALL TEMPORARY CONSTRUCTION SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
 - N. ALL EXISTING VEGETATION, SHRUBS, AND TREES TO REMAIN SHALL BE PROTECTED AS REQUIRED TO PREVENT DAMAGE FROM CONSTRUCTION ACTIVITIES. ANY DAMAGED LANDSCAPING SHALL BE REPLACED WITH LIKE PRODUCT AND SIZE AT THE DIRECTION OF THE ARCHITECT/OWNER'S REPRESENTATIVE.
 - O. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND LANDSCAPE IRRIGATION. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO OR DISTURBANCE OF EXISTING UTILITIES AND IRRIGATION. ALL EXISTING UTILITIES AND ENCLOSURES SHALL BE PROTECTED AND REMAIN ACCESSIBLE AND SERVICEABLE DURING CONSTRUCTION.

KEYNOTES

| # | NOTE |
|----------|---|
| A0200.02 | (E) BEAM, REF. STRUCT DWGS |
| A0240.02 | DEMOLISH (E) DOWNSPOUT |
| A0240.04 | DEMOLISH (E) DOOR, DOOR FRAME, AND HARDWARE. PATCH AND REPAIR ADJACENT WALL |
| A0240.05 | DEMOLISH (E) INTERIOR WALL, PATCH AND REPAIR ADJACENT WALL, FLOOR, AND CEILING AS REQUIRED TO PROVIDE NEW LIKE CONDITION |
| A0240.06 | DEMOLISH (E) CASEWORK |
| A0240.07 | DEMOLISH (E) DOOR, DOOR FRAME, AND HARDWARE |
| A0240.09 | DEMOLISH (E) WINDOW GLAZING & FRAME |
| A0240.10 | DEMOLISH (E) PLUMBING FIXTURES AND ACCESSORIES |
| A0240.11 | DEMOLISH PORTION OF (E) EXTERIOR WALL FOR NEW OPENING |
| A0240.13 | DEMOLISH PORTION OF (E) WINDOW FOR NEW OPENING |
| A0240.14 | AT NEW OPENING REMOVE AND SALVAGE PORTION OF (E) WOOD WAINSCOTING FOR REUSE. PROTECT THE (E) WAINSCOTING TO REMAIN. REPAIR WAINSCOT TO PROVIDE CONDITION MATCHING ADJACENT SURFACES AFTER APPLICATION OF WOOD FINISH RENOVATION |
| A0240.15 | DEMOLISH (E) WALL BELOW SILL FOR NEW OPENING |
| A0240.16 | DEMOLISH (E) COUNTER TOP |
| A0240.18 | DEMOLISH (E) FINISH FLOOR AND WALL BASE |
| A0240.20 | DEMOLISH (E) WALL, PROTECT (E) BEAM ABOVE |
| A0240.21 | DEMOLISH (E) TOILET STALL |
| A0240.22 | DEMOLISH (E) SHELVES |
| A0240.23 | DEMOLISH (E) RAILING |
| A0240.24 | DEMOLISH (E) STAIR FINISH |
| A0240.25 | DEMOLISH (E) WD COLUMN, REF STRUCT DWGS |
| A0240.26 | (E) ROOF DRAIN & SCUPPER |
| A0240.27 | DEMOLISH PORTION OF (E) INTERIOR WALL FOR NEW OPENING |
| A0240.30 | DEMOLISH (E) AWNING |
| A0240.31 | REMOVE (E) DOWNSPOUT AS NEEDED FOR REPAIR WORK AND REINSTALL |
| A0240.32 | DEMOLISH THE DOORS TO (E) CABINET, PATCH AND REPAIR AS NECESSARY TO PROVIDE NEW LIKE CONDITION. REF. 3/A12.01 |
| A0240.33 | DEMOLISH (E) MAIL SORTER |
| A0240.34 | DEMOLISH (E) GLAZING, PROTECT THE SURROUNDING JAMB AND TRIM, PATCH AND REPAIR AS NECESSARY TO INSTALL NEW GLAZING. REF: 1/12.01 |
| A0240.35 | DEMOLISH (E) WAINSCOTING |
| A0240.36 | DEMOLISH PANELS ON (E) DOOR |
| A0240.38 | REMOVE (E) STUCCO FOR WATERPROOFING. RE-PATCH IT TO MATCH THE SURROUNDING AREA AND PROVIDE A NEW LIKE CONDITION |
| A0240.39 | REMOVE AND REPLACE FLOOR REGISTERS, REF MECH DWGS. |

LEGEND

- DEMOLISHED
- EXISTING TO REMAIN



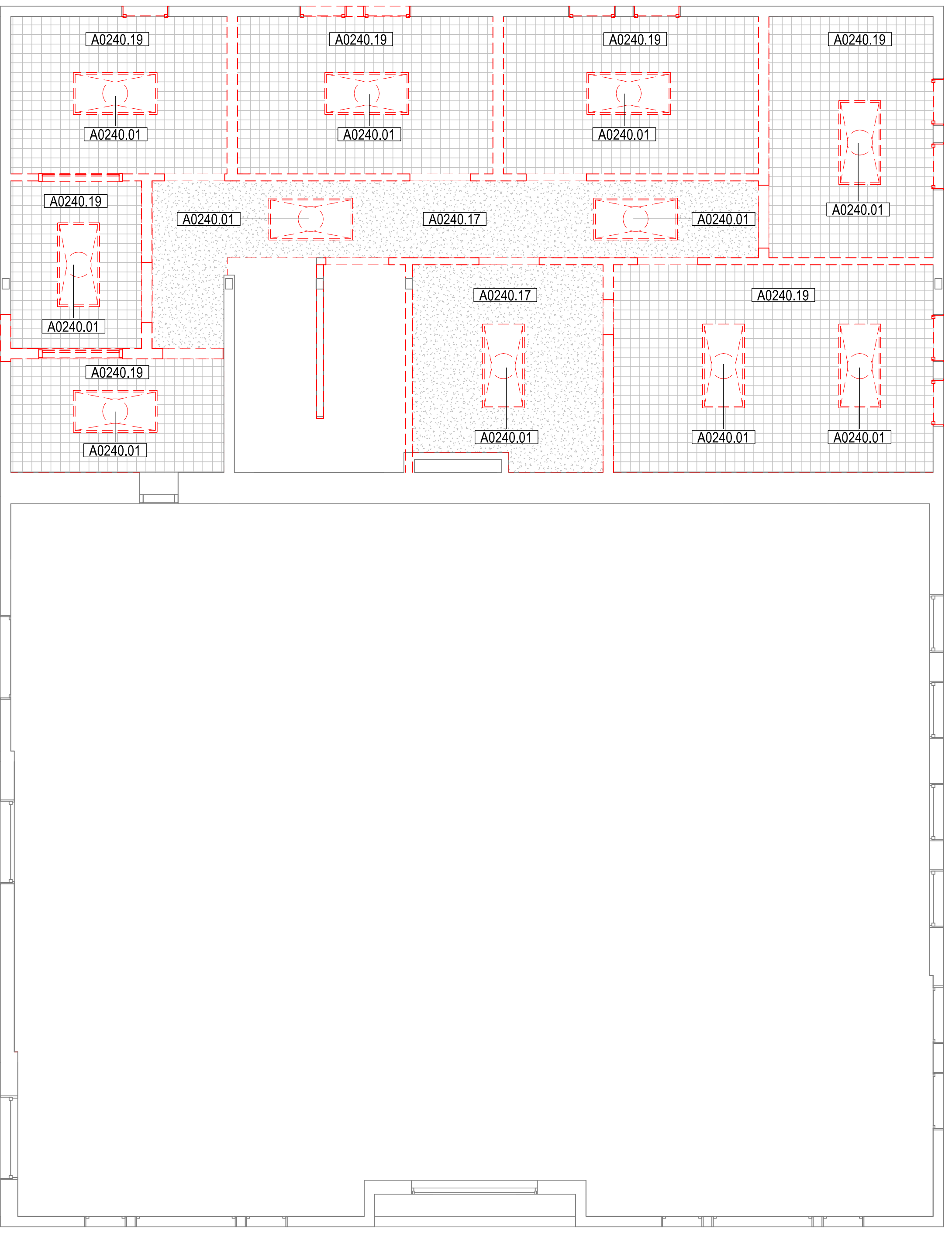
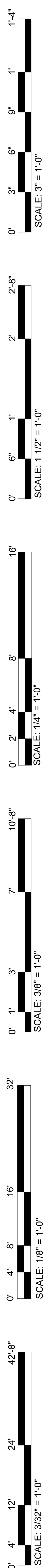
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DATE: 12/20/2022

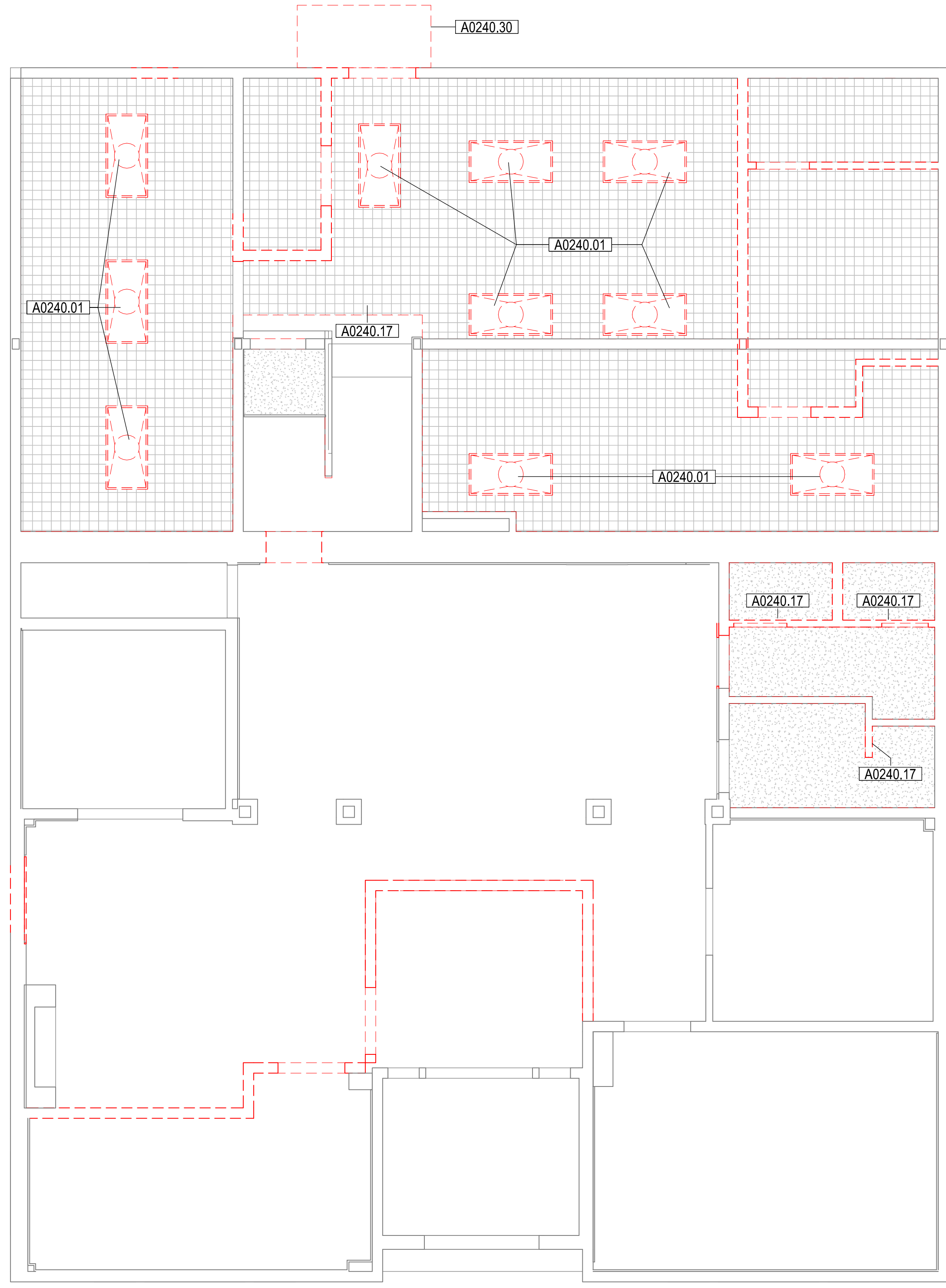
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2 DEMO REFLECTED CEILING PLAN - MAIN-UPPER LEVEL
1/4" = 1'-0"



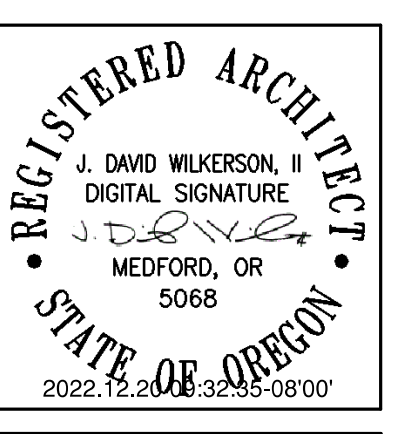
1 DEMO REFLECTED CEILING PLAN - LOWER-MAIN LEVEL
1/4" = 1'-0"

GENERAL NOTES

- THE CONTRACTOR SHALL:
- A. COORDINATE ALL DEMOLITION/PHASING EFFORTS WITH THE ARCHITECT AND OWNER'S REPRESENTATIVES. EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION OF OWNER'S OPERATIONS AND TO PROVIDE BUILDING USER'S SAFETY. EXCESSIVE NOISE OR VIBRATIONS SHALL BE PRE-APPROVED AND COORDINATED WITH THE OWNER'S REPRESENTATIVE.
 - B. DISCONNECT & CAP UTILITIES AS NEEDED PER CURRENT APPLICABLE CODES.
 - C. VERIFY ALL EXISTING CONSTRUCTION, DIMENSIONS AND ELEVATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
 - D. THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE ALL MATERIALS - CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO WORK BEING DONE.
 - E. PROVIDE PROTECTION FOR ALL EXISTING BUILDING MATERIALS AND EQUIPMENT FROM DAMAGE DUE TO ANY DEMOLITION OR CONSTRUCTION RELATED INCIDENT PERFORMED UNDER THIS CONTRACT.
 - F. REPAIR OR REPLACE ITEMS THAT ARE DAMAGED AS A RESULT OF DEMOLITION OR CONSTRUCTION TO MATCH EXISTING FINISH AND/OR CONDITION.
 - G. EXISTING MATERIALS SHALL NOT BE REUSED UNLESS NOTED OTHERWISE, OR AS AUTHORIZED BY THE ARCHITECT.
 - J. PATCH FLOOR AND CEILING PENETRATIONS RESULTING FROM REMOVAL, OR REROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, ETC. FINISH AS REQUIRED FOR NEW OR EXISTING ADJACENT SURFACES.
 - K. CAP ALL DISCONNECT MECHANICAL PIPING LINES WITHIN THE WALL OR FLOOR. PATCH AND FINISH AS REQUIRED TO MATCH NEW OR EXISTING ADJACENT SURFACES.
 - L. CONTRACTOR SHALL V.I.F. THAT THE AREA BEHIND THE EXISTING WALL IS VACANT OF ALL MECHANICAL, PLUMBING, & ELECTRICAL EQUIPMENT, AND OR STRUCTURAL COLUMNS BEFORE PROCEEDING WITH WALL DEMOLITION. PROMPTLY NOTIFY ARCHITECT IF MEP EQUIPMENT OR STRUCTURAL COLUMNS ARE DISCOVERED.
 - M. CONTRACTOR TO PROVIDE ANY TEMPORARY ROADS OR CROSSINGS AS REQUIRED FOR EXECUTION OF THE CONTRACT. ALL TEMPORARY CONSTRUCTION SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
 - N. ALL EXISTING VEGETATION, SHRUBS, AND TREES TO REMAIN SHALL BE PROTECTED AS REQUIRED TO PREVENT DAMAGE FROM CONSTRUCTION ACTIVITIES. ANY DAMAGED LANDSCAPING SHALL BE REPLACED WITH LIKE PRODUCT AND SIZE AT THE DIRECTION OF THE ARCHITECT/OWNER'S REPRESENTATIVE.
 - O. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND LANDSCAPE IRRIGATION. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO OR DISTURBANCE OF EXISTING UTILITIES AND IRRIGATION. ALL EXISTING UTILITIES AND ENCLOSURES SHALL BE PROTECTED AND REMAIN ACCESSIBLE AND SERVICEABLE DURING CONSTRUCTION.

KEYNOTES

| # | NOTE |
|----------|--|
| A0240.01 | DEMOLISH (E) LIGHTING FIXTURE |
| A0240.17 | DEMOLISH (E) GYPSUM WALL BOARD CEILING |
| A0240.19 | DEMOLISH (E) GLUE UP TILE CEILING |
| A0240.30 | DEMOLISH (E) AWNING |



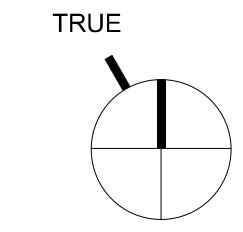
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DEMOLITION REFLECTED CEILING PLAN

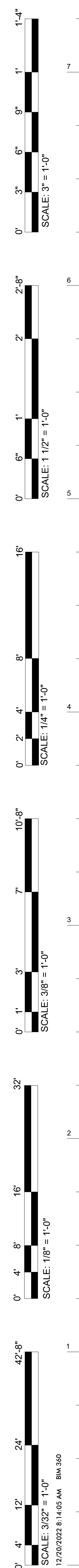
PROJECT: 2146
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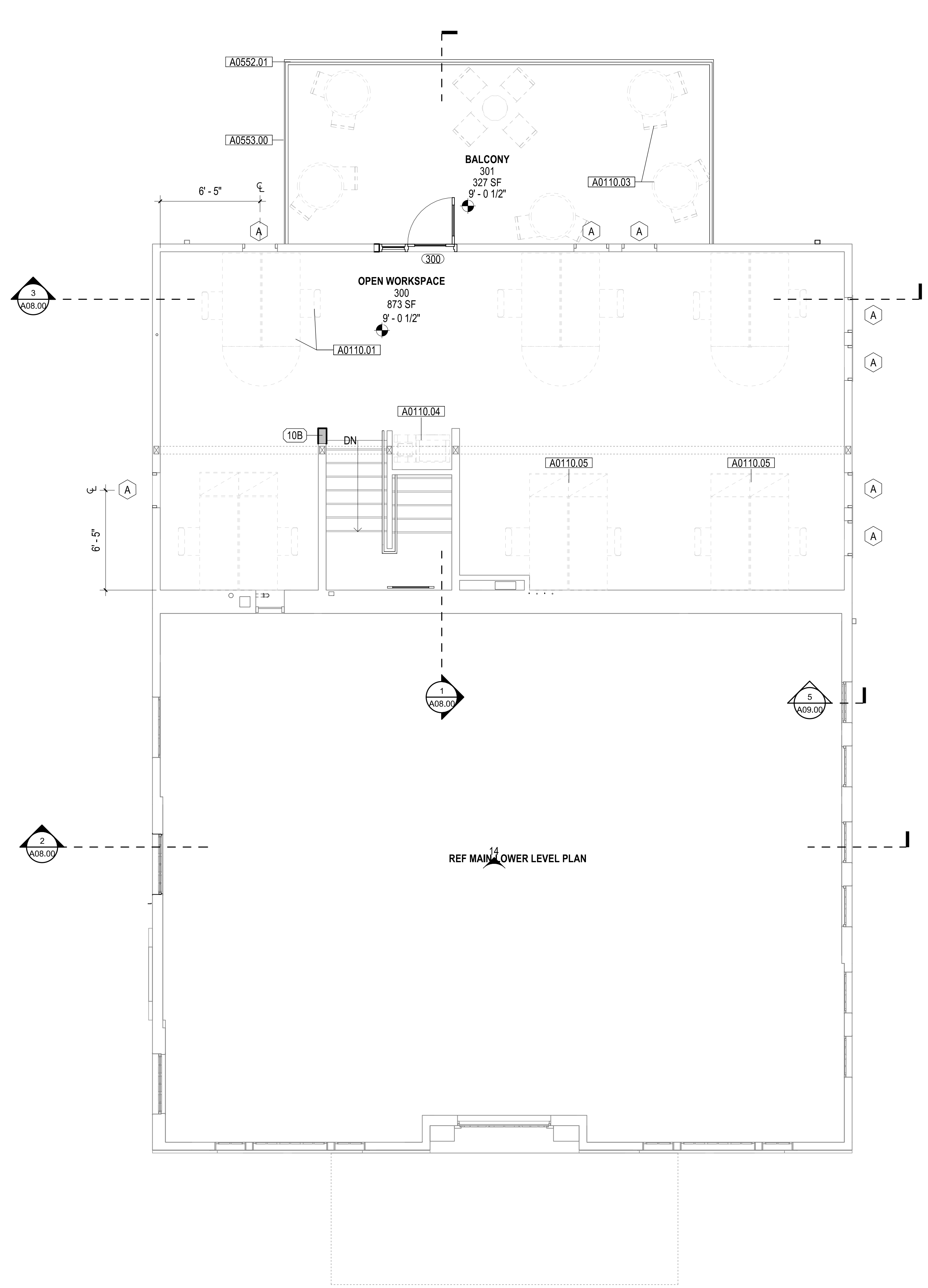
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3 RENOVATION PLAN - MAIN-UPPER LEVEL
1/4" = 1'-0"



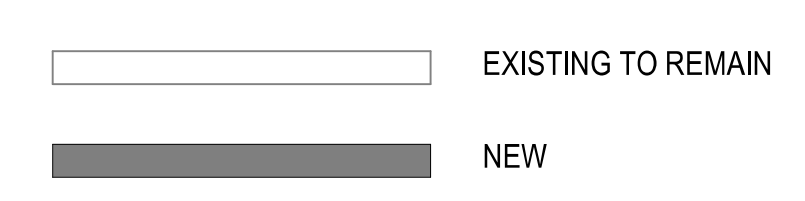
1 RENOVATION PLAN - LOWER-MAIN LEVEL
1/4" = 1'-0"



GENERAL NOTES

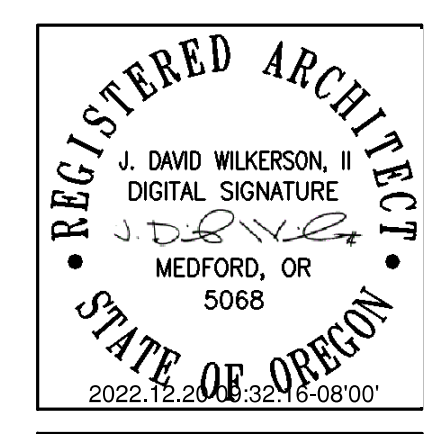
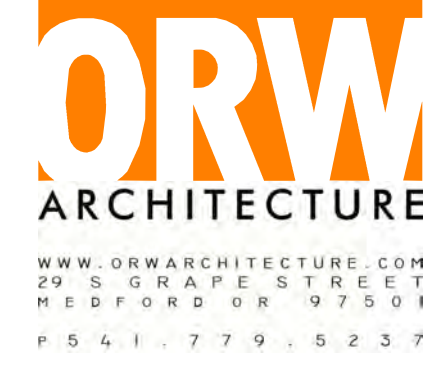
1. ALL PLUMBING FIXTURES TO BE INSTALLED PER ADA STANDARDS - REF. A00.20
2. ALL BATHROOM ACCESSORIES TO BE INSTALLED AS PER ADA STANDARDS - REF. A00.20

LEGEND



KEYNOTES

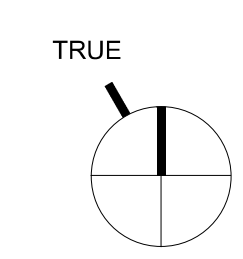
| # | NOTE |
|----------|--|
| A0110.01 | FURNITURE, OFOI |
| A0110.02 | REFRIGERATOR, OFCI |
| A0110.03 | OUTDOOR FURNISHING, OFOI |
| A0110.04 | PRINTER, OFOI |
| A0110.05 | FILE CABINET, OFOI |
| A0110.07 | DISHWASHER, OFCI |
| A0240.37 | REPLACE (E) FIRE PLACE OPENING, PATCH AND REPAIR AS REQUIRED TO PROVIDE NEW LIKE CONDITION |
| A0552.01 | 2"X2" SQ TS GUARDRAIL, W/ AIRPLANE CABLE |
| A0553.00 | METAL GRATE, REF STRUCTURAL DWGS |
| A2242.01 | MOP SINK, REF PLUMB DWGS |
| A2242.04 | KITCHEN SINK, REF PLUMB DWGS |
| A2600.03 | ELECTRIC PANEL, REF ELECTRICAL DWGS |



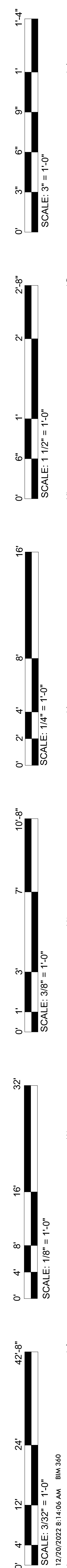
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RENOVATION FLOOR PLANS

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| 2146 | | 12/20/2022 |

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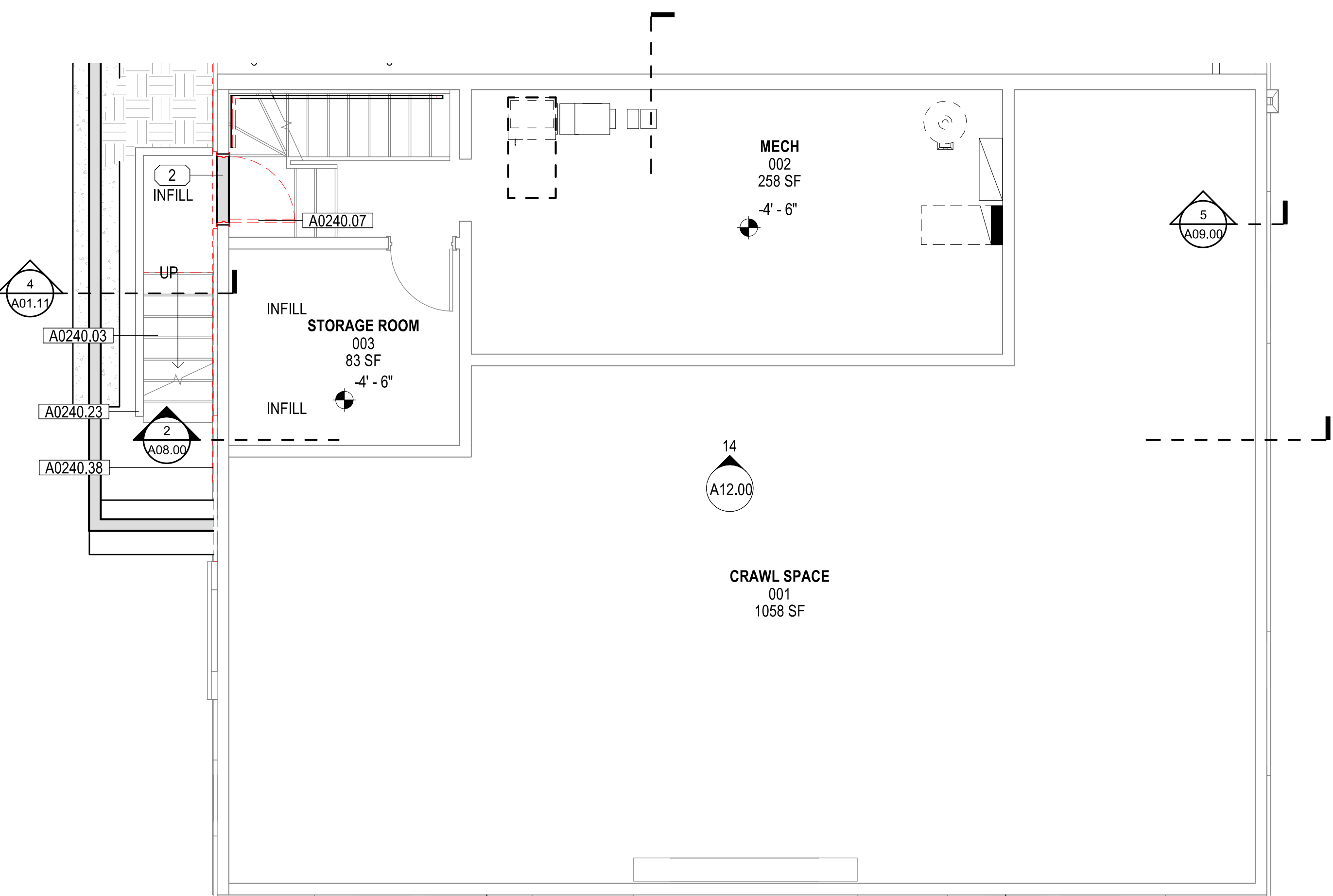
4 (E) DOWNSPOUT @ NORTH WALL
SCALE: 1/4" = 1'-0"



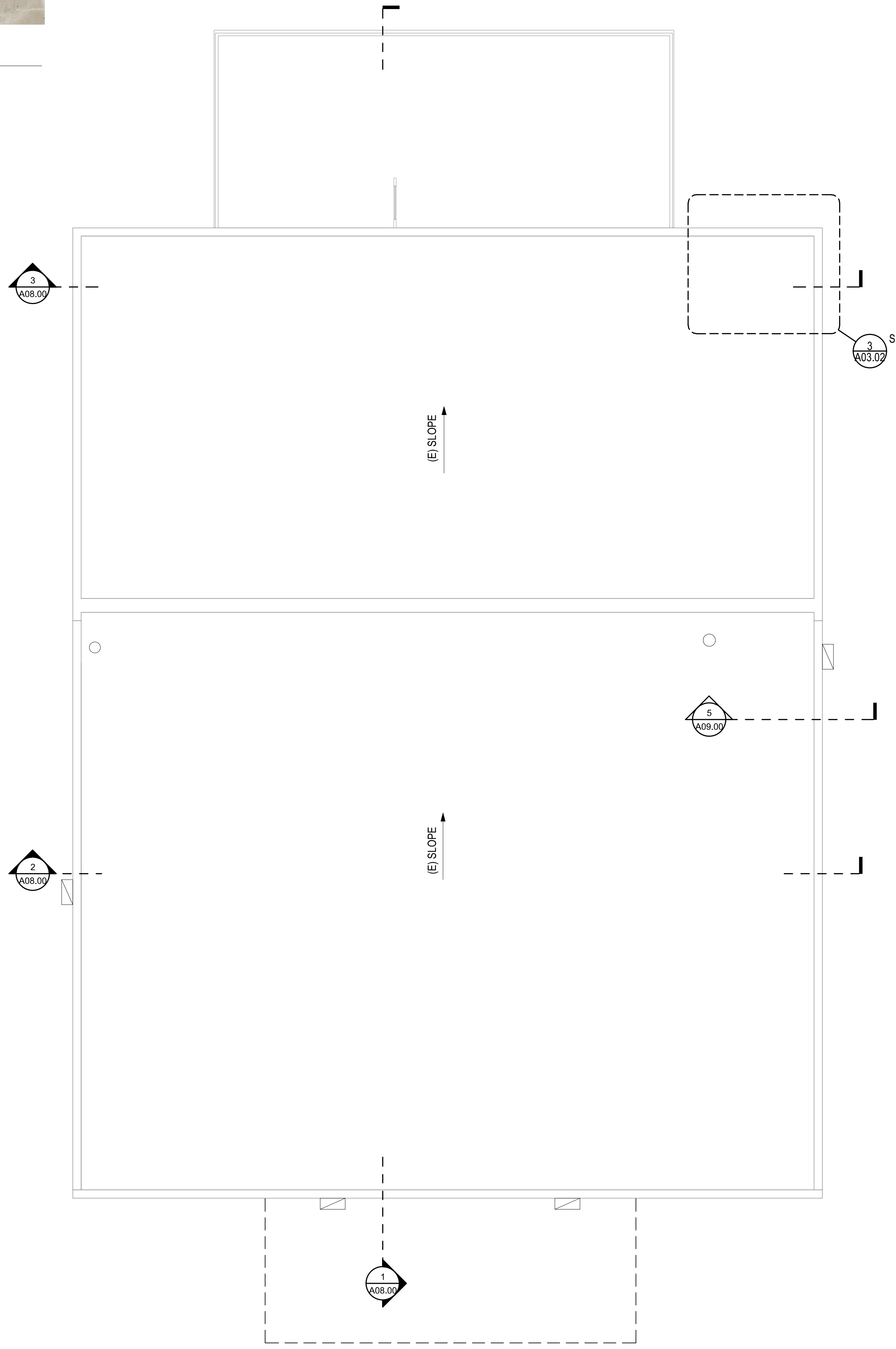
PATCH MEMBRANE AS REQUIRED
CLEAN UP ROOF DRAIN TO DOWNSPOUT CONNECTION

- CLEAN UP ROOF DRAIN TO DOWNSPOUT CONNECTION
- REMOVE AND REPLACE DOWNSPOUT
- CLEAN, PREP, AND RECOAT ENTIRE NORTH WALL SURFACE. PAINT COLOR TO MATCH EXISTING
- ALT BID: CLEAN, PREP, AND RECOAT EXTERIOR WALLS, COLOR TO MATCH EXISTING

3 (E) ROOF REPAIR
1/4" = 1'-0"



2 RENOVATION PLAN - BASEMENT LEVEL
1/4" = 1'-0"



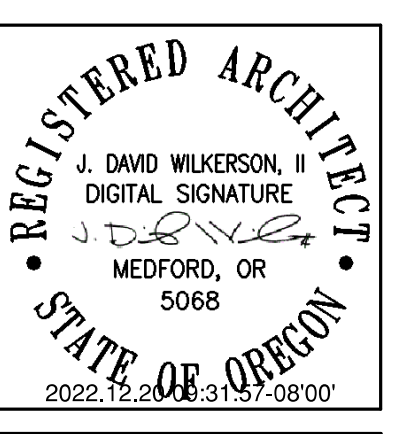
1 ROOF PLAN
1/4" = 1'-0"

GENERAL NOTES

1. ALL PLUMBING FIXTURES TO BE INSTALLED PER ADA STANDARDS - REF. A00.20
2. ALL BATHROOM ACCESSORIES TO BE INSTALLED AS PER ADA STANDARDS - REF. A00.20

KEYNOTES

| # | NOTE |
|----------|---|
| A0240.03 | DEMOLISH (E) EXTERIOR STAIR |
| A0240.07 | DEMOLISH (E) DOOR, DOOR FRAME, AND HARDWARE |
| A0240.23 | DEMOLISH (E) RAILING |
| A0240.38 | REMOVE (E) STUCCO FOR WATERPROOFING. RE-PATCH IT TO MATCH THE SURROUNDING AREA AND PROVIDE A NEW LIKE CONDITION |



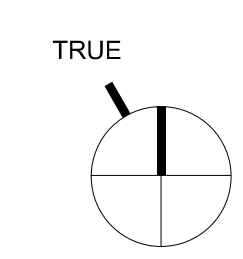
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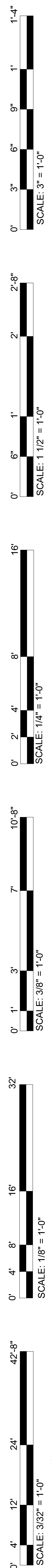
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 ASSESSOR'S PARCEL NUMBER: 53-352-100
BASEMENT AND ROOF PLAN

PROJECT: 2146
 DATE: 12/20/2022

| No. | Description | Date |
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A03.02





SCALE: 3/32" = 1'-0"
12/20/2022 8:14:06 AM BIM 340

SCALE: 3/8" = 1'-0"

SCALE: 1/4" = 1'-0"

SCALE: 1/2" = 1'-0"

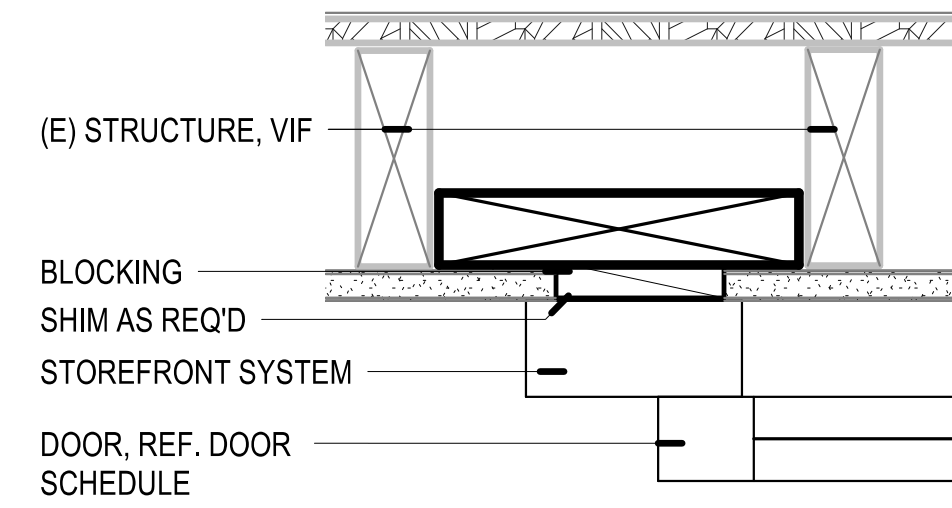
SCALE: 3/8" = 1'-0"

SCALE: 1/8" = 1'-0"

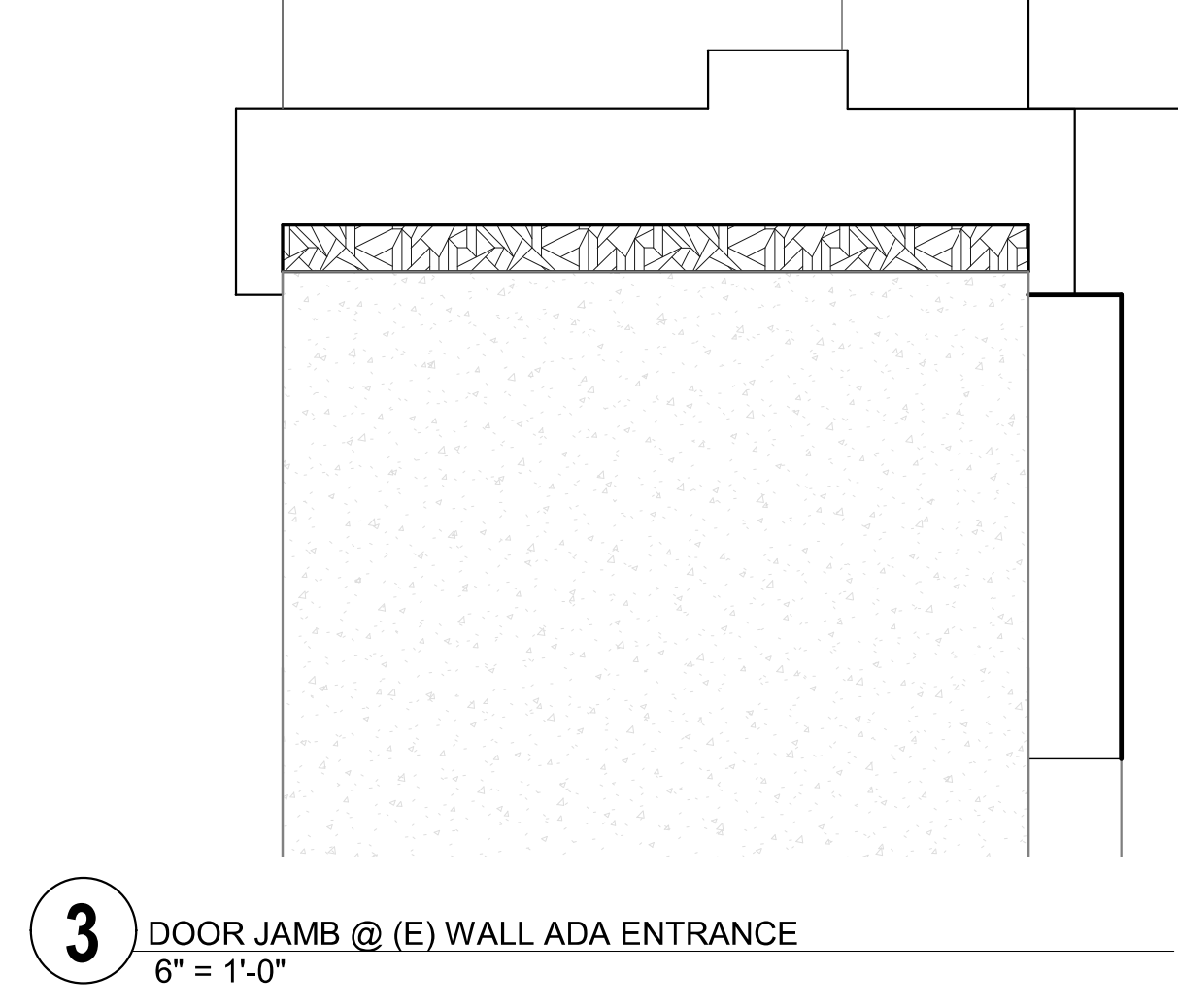
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SCALE: 3/32" = 1'-0"

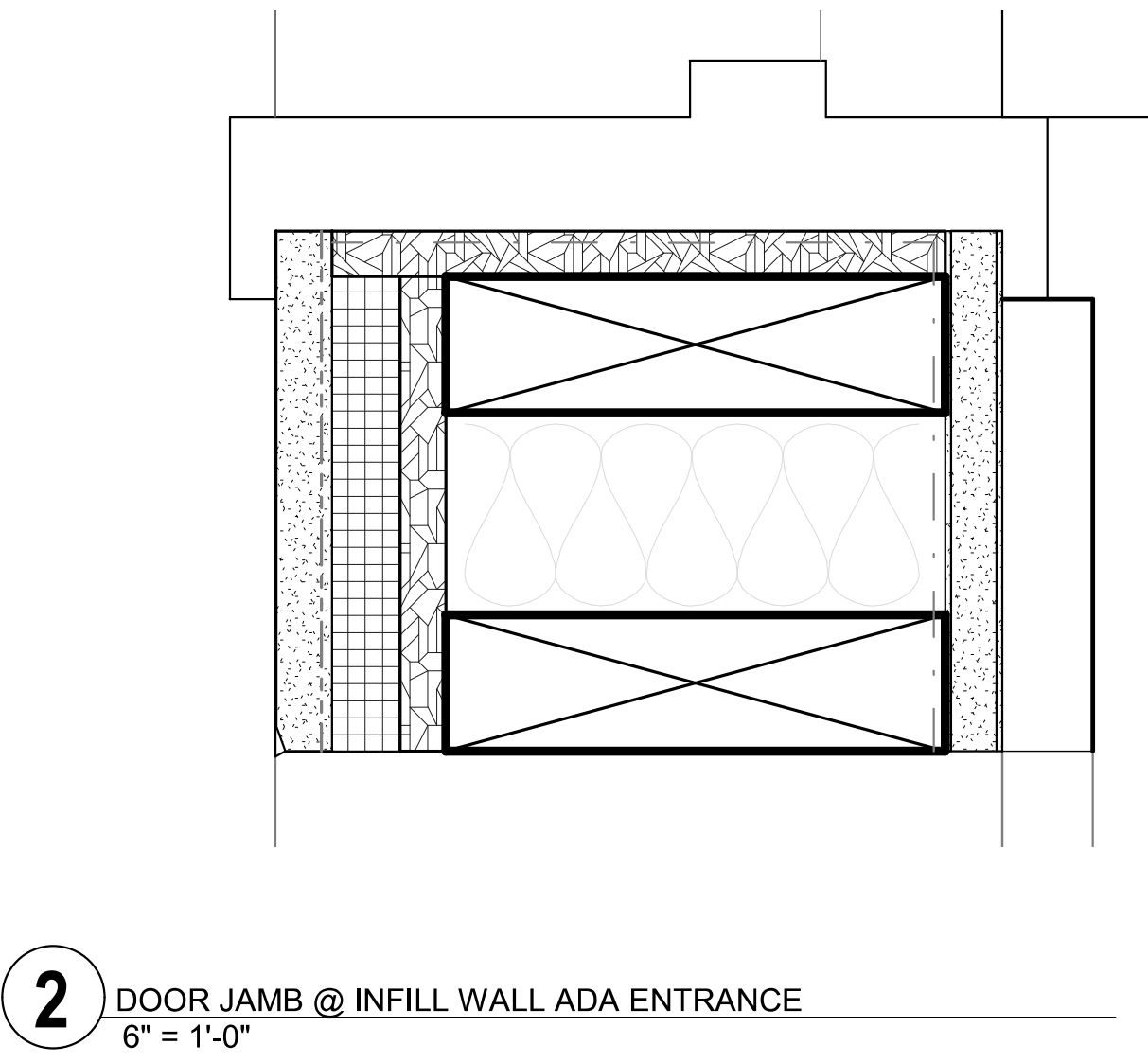
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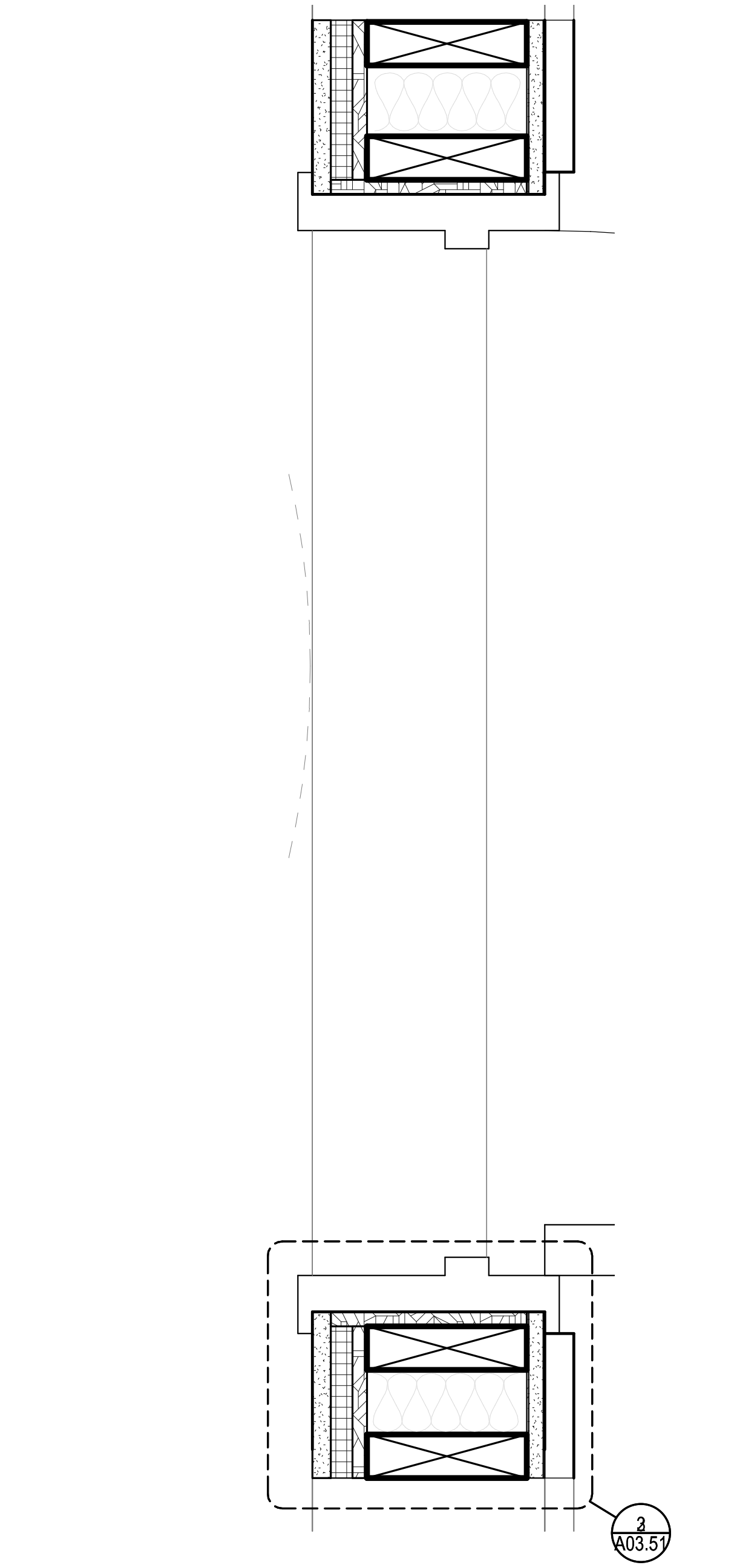
5 DETAIL - DOOR JAMB @ CONFERENCE
3" = 1'-0"



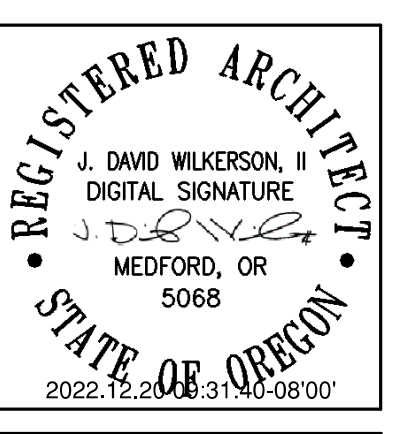
3 DOOR JAMB @ (E) WALL ADA ENTRANCE
6" = 1'-0"



2 DOOR JAMB @ INFILL WALL ADA ENTRANCE
6" = 1'-0"



1 INFILL WALL @ ADA ENTRANCE
3" = 1'-0"



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A03.51
DETAILS - FLOOR PLANS

1'-4"
1'
9"
6"
3"
0'
SCALE: 3" = 1'-0"

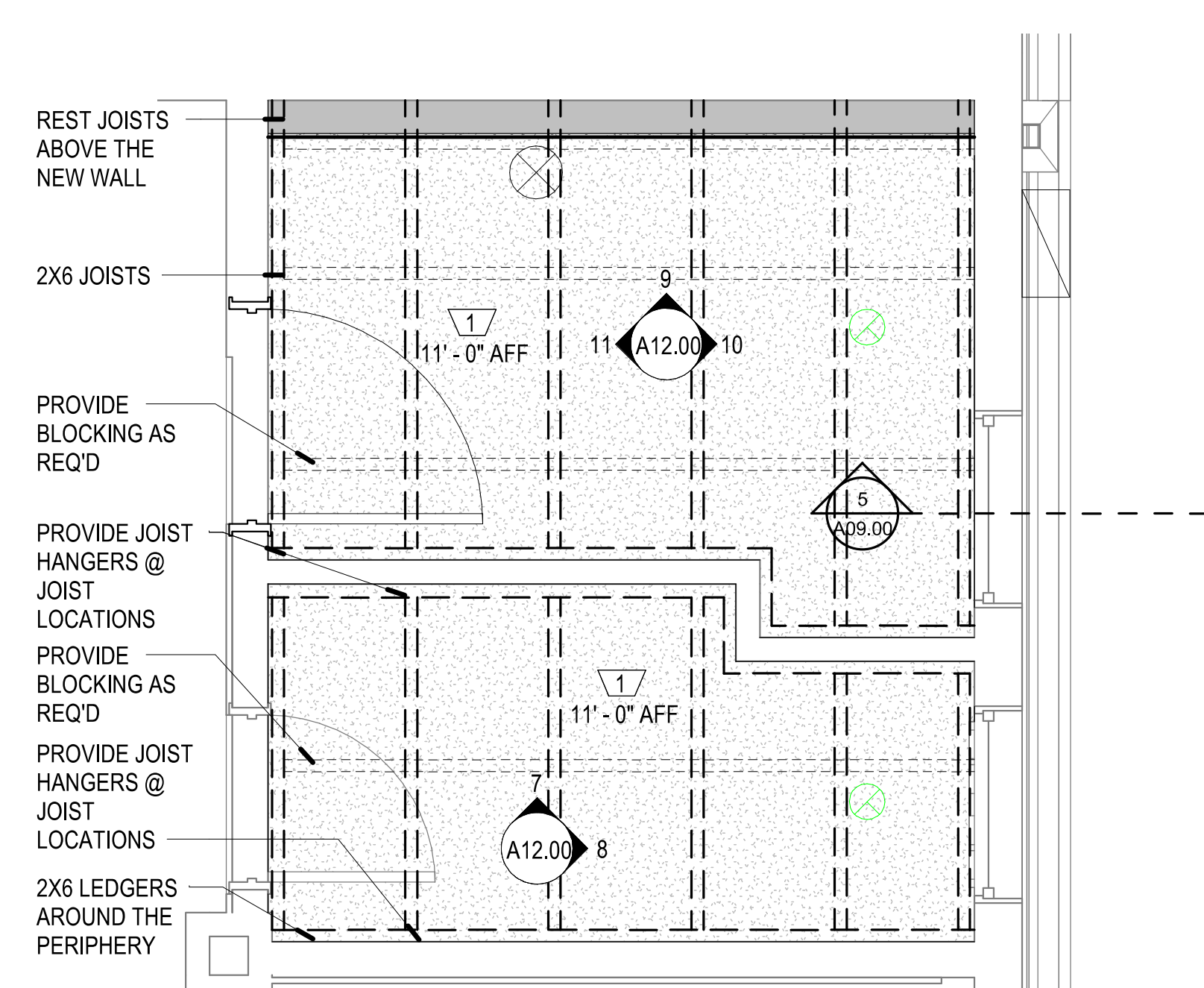
2'-8"
2'
0'
SCALE: 1 1/2" = 1'-0"

16"
8"
4"
2"
0'
SCALE: 1/4" = 1'-0"

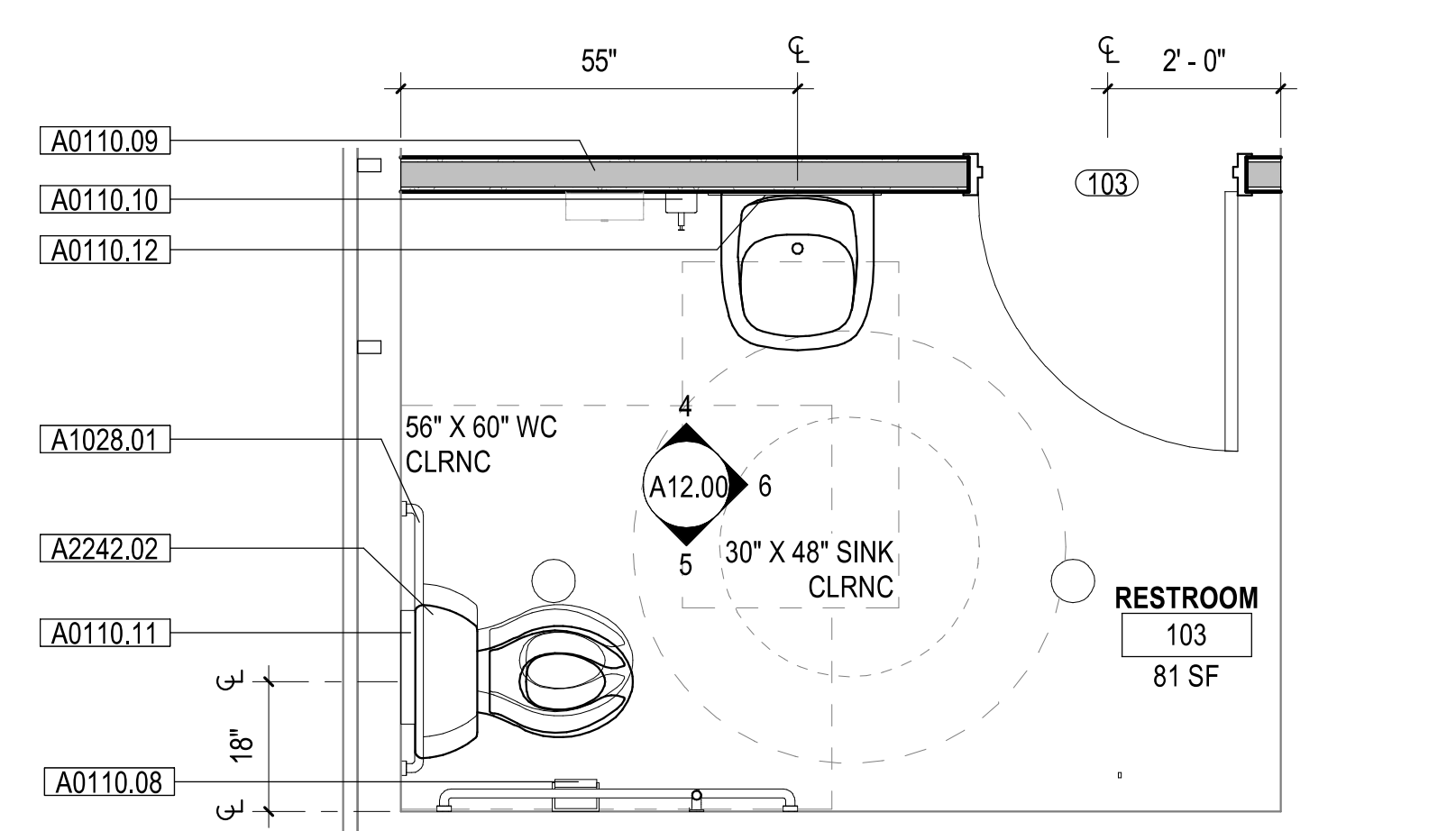
10'-8"
7'
3'
0'
SCALE: 3/8" = 1'-0"

32"
16"
8"
4"
0'
SCALE: 1/8" = 1'-0"

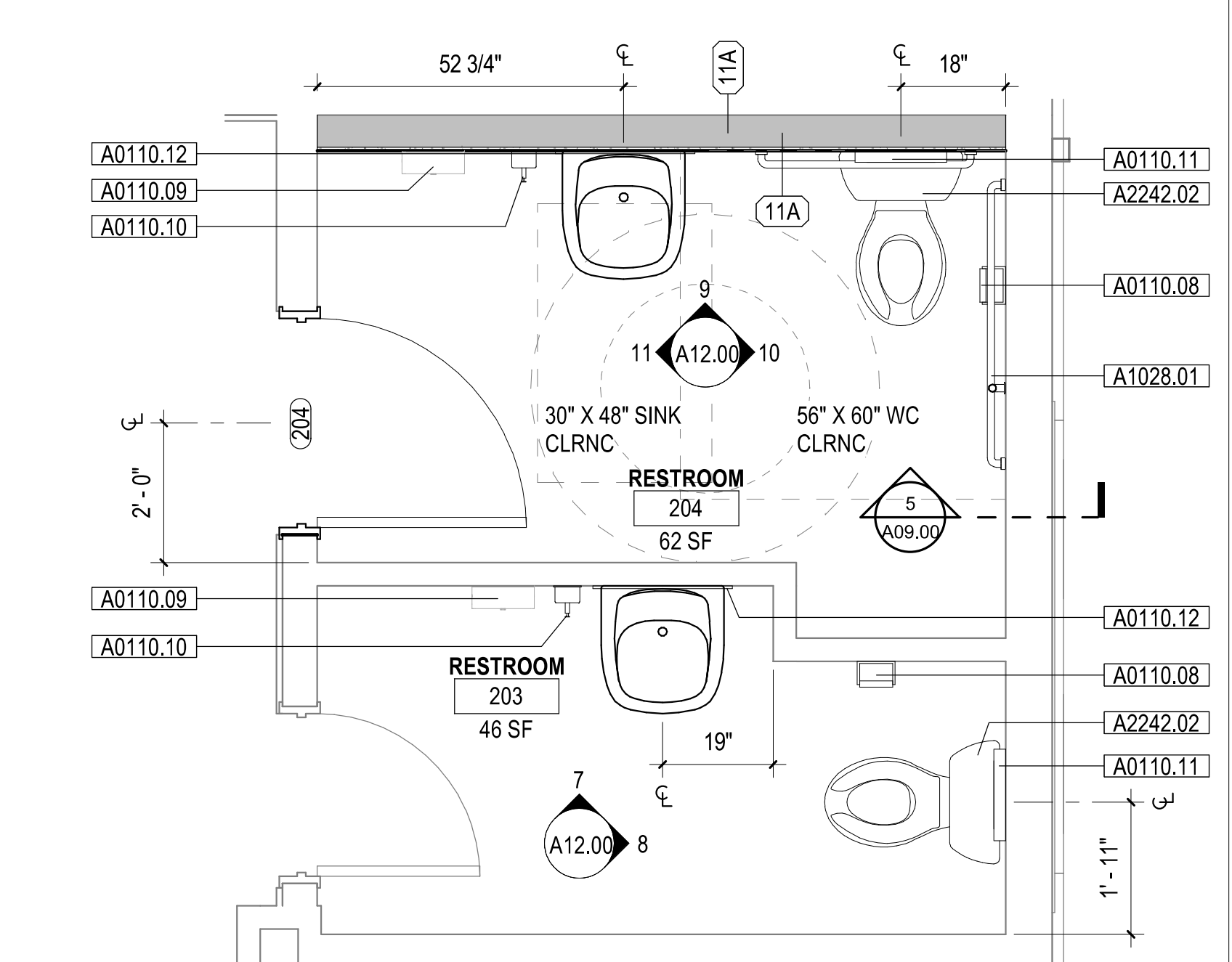
42'-3"
24"
12"
4"
0'
SCALE: 3/32" = 1'-0"
12/20/2022 8:14:07 AM BIM 340



3 ENLARGED CEILING PLAN - RESTROOM - MAIN LEVEL
1/2" = 1'-0"



2 ENLARGED PLAN - RESTROOM - LOWER LEVEL
1/2" = 1'-0"

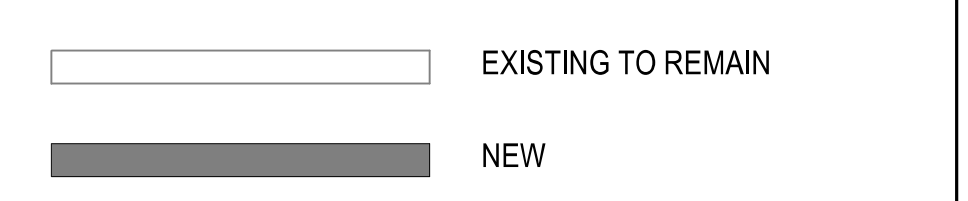


1 ENLARGED PLAN - RESTROOMS - MAIN LEVEL
1/2" = 1'-0"

GENERAL NOTES

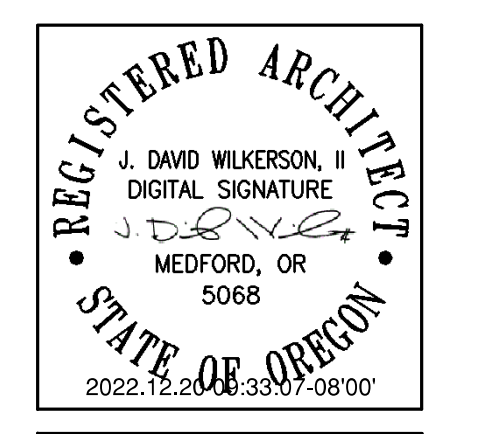
1. ALL PLUMBING FIXTURES TO BE INSTALLED PER ADA STANDARDS - REF. A00.20
2. ALL BATHROOM ACCESSORIES TO BE INSTALLED AS PER ADA STANDARDS - REF. A00.20

LEGEND



KEYNOTES

| # | NOTE |
|----------|--|
| A0110.08 | TOILET PAPER DISPENSER, OFCI |
| A0110.09 | PAPER TOWEL DISPENSER, OFCI |
| A0110.10 | SOAP DISPENSER, OFCI |
| A0110.11 | TOILET SEAT COVER DISPENSER, OFCI |
| A0110.12 | MIRROR, OFCI |
| A1028.01 | ADA COMPLIANT GRAB BARS, REF ADA DETAILS FOR MOUNTING HIEGHT |
| A2242.02 | FLOOR MOUNTED WATER CLOSET, REF PLUMB DWGS |



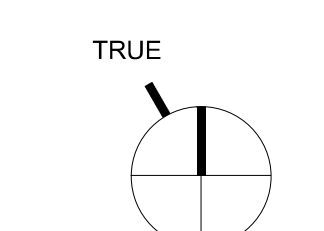
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ENLARGED PLANS

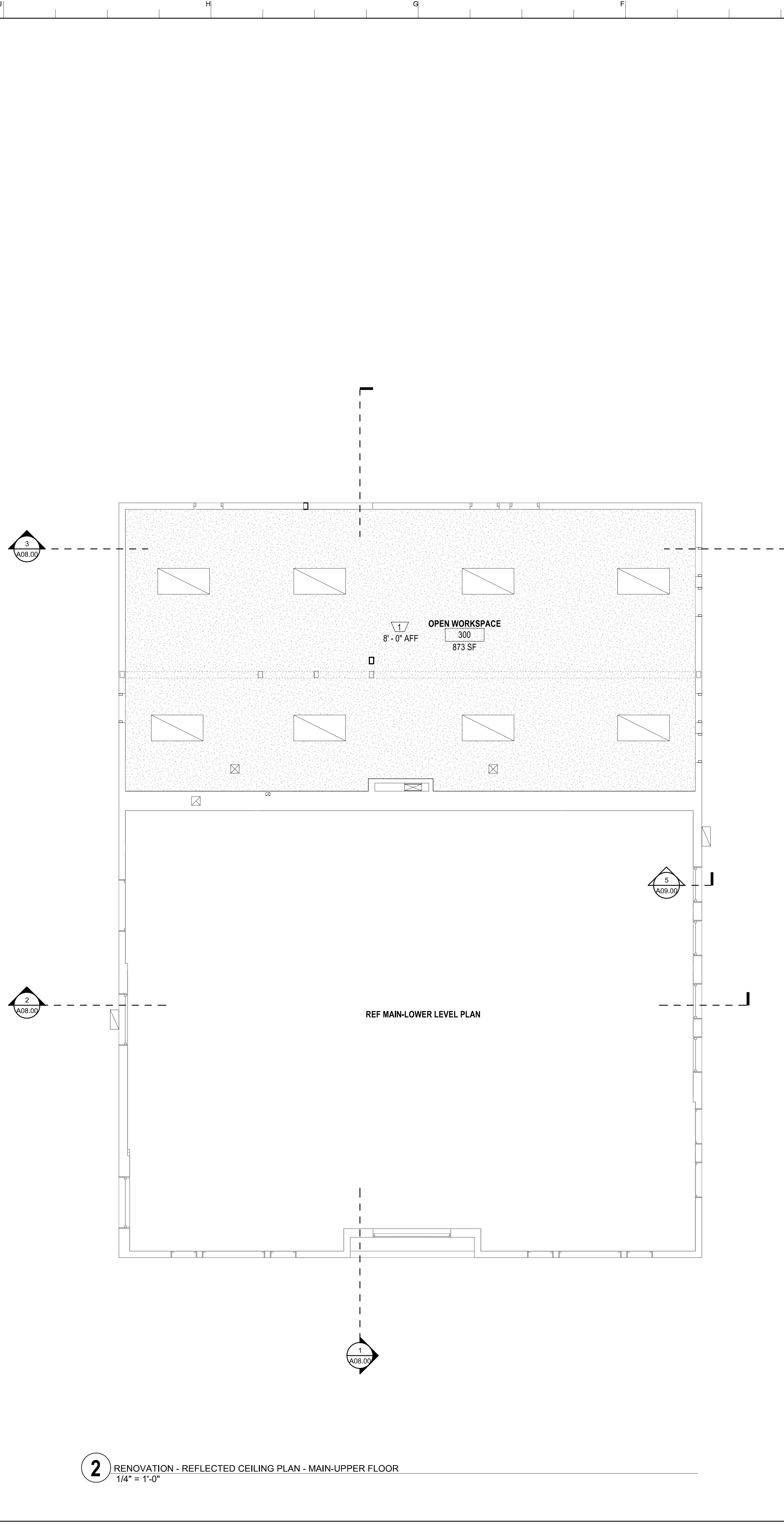
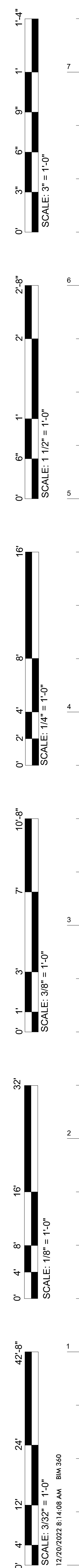
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DATE: 12/20/2022

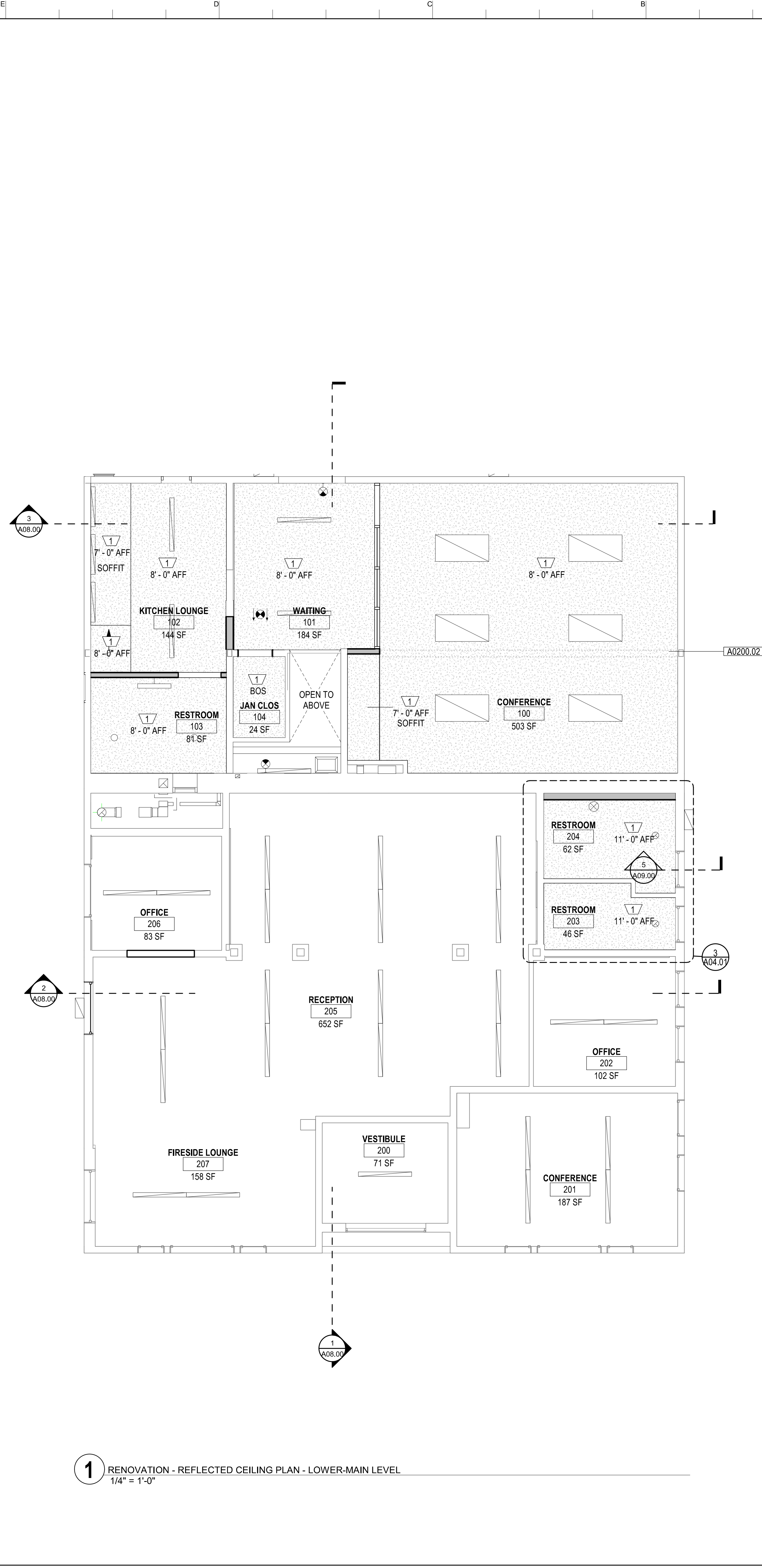
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2 RENOVATION - REFLECTED CEILING PLAN - MAIN-UPPER FLOOR
1/4" = 1'-0"



1 RENOVATION - REFLECTED CEILING PLAN - LOWER-MAIN LEVEL
1/4" = 1'-0"

GENERAL NOTES

- THE CONTRACTOR SHALL:
- A. COORDINATE ALL DEMOLITION/PHASING EFFORTS WITH THE ARCHITECT AND OWNER'S REPRESENTATIVES. EVERY EFFORT SHALL BE MADE TO MINIMIZE DISRUPTION OF OWNER'S OPERATIONS AND TO PROVIDE BUILDING USER'S SAFETY. EXCESSIVE NOISE OR VIBRATIONS SHALL BE PRE-APPROVED AND COORDINATED WITH THE OWNER'S REPRESENTATIVE.
 - B. DISCONNECT & CAP UTILITIES AS NEEDED PER CURRENT APPLICABLE CODES.
 - C. VERIFY ALL EXISTING CONSTRUCTION, DIMENSIONS AND ELEVATIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
 - D. THE OWNER SHALL RESERVE THE RIGHT TO SALVAGE ALL MATERIALS - CONTRACTOR TO COORDINATE WITH OWNER PRIOR TO WORK BEING DONE.
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 - J. PATCH FLOOR AND CEILING PENETRATIONS RESULTING FROM REMOVAL, OR REROUTING OF NEW OR EXISTING PIPING, DUCTWORK, CONDUIT, ETC. FINISH AS REQUIRED FOR NEW OR EXISTING ADJACENT SURFACES.
 - K. CAP ALL DISCONNECT MECHANICAL PIPING LINES WITHIN THE WALL OR FLOOR. PATCH AND FINISH AS REQUIRED TO MATCH NEW OR EXISTING ADJACENT SURFACES.
 - L. CONTRACTOR SHALL V.I.F. THAT THE AREA BEHIND THE EXISTING WALL IS VACANT OF ALL MECHANICAL, PLUMBING, & ELECTRICAL EQUIPMENT, AND OR STRUCTURAL COLUMNS BEFORE PROCEEDING WITH WALL DEMOLITION. PROMPTLY NOTIFY ARCHITECT IF MEP EQUIPMENT OR STRUCTURAL COLUMNS ARE DISCOVERED.
 - M. CONTRACTOR TO PROVIDE ANY TEMPORARY ROADS OR CROSSINGS AS REQUIRED FOR EXECUTION OF THE CONTRACT. ALL TEMPORARY CONSTRUCTION SHALL BE REMOVED AT THE COMPLETION OF THE PROJECT.
 - N. ALL EXISTING VEGETATION, SHRUBS, AND TREES TO REMAIN SHALL BE PROTECTED AS REQUIRED TO PREVENT DAMAGE FROM CONSTRUCTION ACTIVITIES. ANY DAMAGED LANDSCAPING SHALL BE REPLACED WITH LIKE PRODUCT AND SIZE AT THE DISCRETION OF THE ARCHITECT/OWNER'S REPRESENTATIVE.
 - O. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES AND LANDSCAPE IRRIGATION. CARE SHOULD BE TAKEN TO AVOID DAMAGE TO OR DISTURBANCE OF EXISTING UTILITIES AND IRRIGATION. ALL EXISTING UTILITIES AND ENCLOSURES SHALL BE PROTECTED AND REMAIN ACCESSIBLE AND SERVICEABLE DURING CONSTRUCTION.

CEILING TYPES

- 1 - DIRECT APPLIED GWB
- 2 - (E) CEILING TO REMAIN

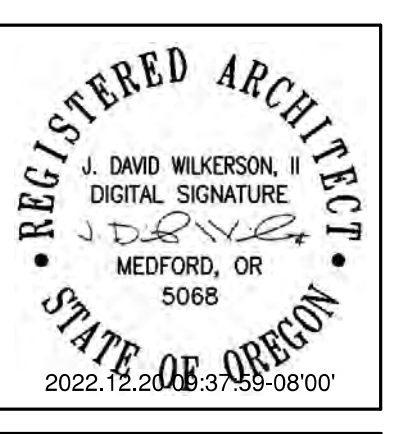
KEYNOTES

| # | NOTE |
|----------|----------------------------|
| A0200.02 | (E) BEAM, REF. STRUCT DWGS |

ABBREVIATIONS

NOTE: SEE TITLE SHEET FOR ADDITIONAL ABBREVIATIONS

| | | |
|-----|-----------------------|------|
| ACT | ACOUSTIC CEILING TILE | TRUE |
| GWB | GYPSUM WALL BOARD | |
| MTL | METAL | |
| BOS | BOTTOM OF STRUCTURE | |



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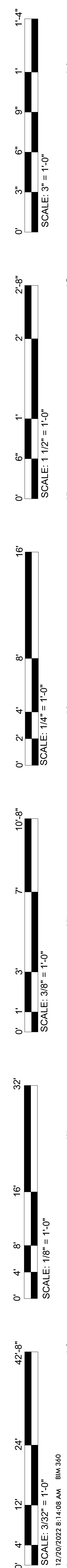
RENOVATION REFLECTED CEILING PLAN

PROJECT: 2146

DATE: 12/20/2022

| No. | Description | Date |
|-----|-------------|------|
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DOOR SCHEDULE

| DOOR NUMBER | INT/EXT | DOOR PANEL | | | | FRAME | | HARDWARE GROUP | DETAILS | | | COMMENTS | | | |
|-------------|---------|------------|--------|------|------|---------|---------|----------------|---------|-----|------|----------|--------------------|----------|----------------------------|
| | | WIDTH | HEIGHT | TYPE | FIN | GLAZING | GLAZING | | MAT | FIN | HEAD | | JAMB | SILL | |
| 100 | INT | 3'-0" | 7'-0" | C | DR-3 | G-3 | | AL | | | 4 | | | | |
| 101 | EXT | 3'-0" | 6'-8" | C | DR-4 | IGU-5 | B | WD | FF | | 1 | | | | |
| 102 | INT | 0'-0" | 0'-0" | - | | | - | | | | | | | | |
| 103 | INT | 3'-0" | 7'-0" | A | DR-1 | | A | WD | FF | | 2 | | | | |
| 104 | INT | 2'-4" | 6'-8" | A | DR-1 | | A | WD | FF | | 4 | | | | |
| 204 | INT | 3'-0" | 6'-7" | A | DR-2 | | A | WD | P | | 2 | | | | TO MATCH (E) DOOR - EX 203 |
| 205 | INT | 2'-8" | 7'-0" | F | DR-2 | | D | | | | 3 | | | | |
| 206 | INT | 5'-0" | 7'-0" | D | DR-2 | G-2 | C | WD | P | | 3 | | | | |
| 207 | EXT | 3'-0" | 6'-8" | C | DR-2 | IGU-5 | A | WD | P | | 1 | 6/A13.00 | 2/A03.51, 3/A03.51 | 4/A13.00 | |
| 300 | EXT | 3'-0" | 6'-8" | C | DR-4 | IGU-5 | B | WD | FF | | 1 | | | | |

HARDWARE GROUP 1

| OPENING: | METAL CLAD WOOD DOOR, METAL CLAD WOOD FRAME - 207 | METAL CLAD WOOD DOOR, METAL CLAD WOOD FRAME - 101 | METAL CLAD WOOD DOOR, METAL CLAD WOOD FRAME - 300 |
|---------------------------------|---|---|---|
| Each door or doors should have: | | | |
| QTY | DESCRIPTION | QTY | DESCRIPTION |
| 3 EA. | BUTT HINGES | 3 EA. | BUTT HINGES |
| 1 EA. | ENTRANCE LOCK | 1 EA. | ENTRANCE LOCK |
| 1 EA. | CLOSER | 1 EA. | CLOSER |
| 1 EA. | WEATHER SEALS | 1 EA. | WEATHER SEALS |
| 1 EA. | THRESHOLD | 1 EA. | THRESHOLD |
| 1 EA. | KICKPLATE | 1 EA. | KICKPLATE |

HARDWARE GROUP 2

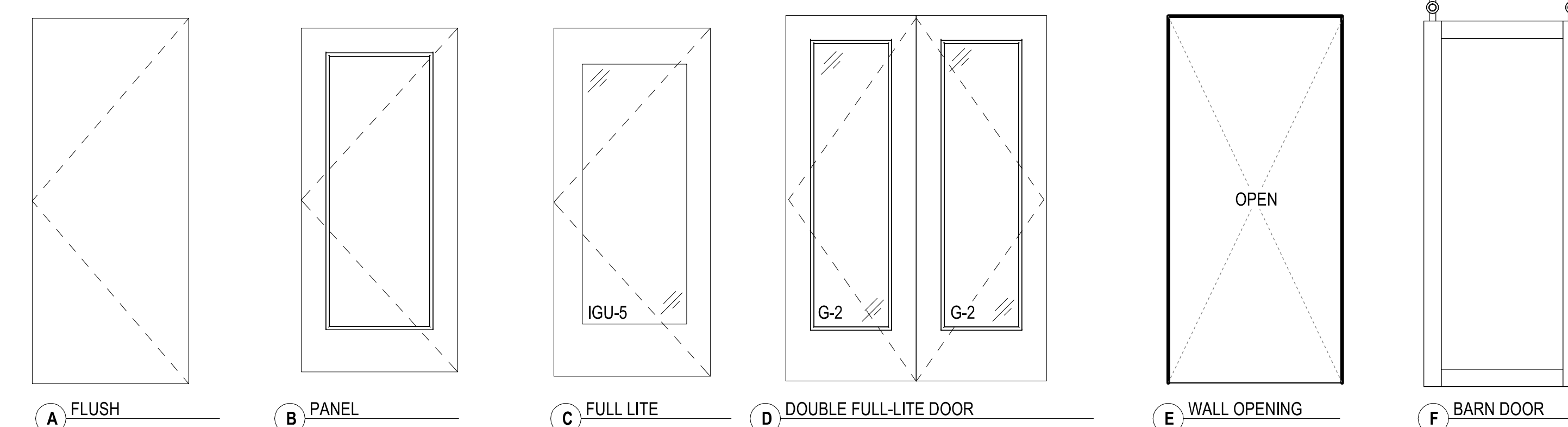
| OPENING: | WOOD DOOR, MSO FRAME -103 | WOOD DOOR, WOOD FRAME -204 (TO MATCH EX 203) | |
|---------------------------------|---------------------------|--|--------------------|
| Each door or doors should have: | | | |
| QTY | DESCRIPTION | QTY | DESCRIPTION |
| 3 EA. | BUTT HINGES | 3 EA. | BUTT HINGES |
| 1 EA. | MORTICE LOCK w/OCC | 1 EA. | MORTICE LOCK w/OCC |
| 1 EA. | DISPLAY INDICATOR | | |
| 1 EA. | ACOUSTICS SEALS | 1 EA. | DISPLAY INDICATOR |

HARDWARE GROUP 3

| OPENING: | WOOD DOOR -206 | WOOD DOOR, STEEL TRACK -205 | |
|---------------------------------|--|-----------------------------|---|
| Each door or doors should have: | | | |
| QTY | DESCRIPTION | QTY | DESCRIPTION |
| 6 EA. | BUTT HINGES | 1 EA. | FACE MOUNTED SLIDING BARN DOOR HEAD TRACK |
| 1 EA. | OFFICE LOCKSET (EAST DOOR) | 2 EA. | RECESSED PULL EACH SIDE |
| 1 EA. | CONCEALED FLUSHBOLTS (WEST DOOR), MANUAL | | |

HARDWARE GROUP 4

| OPENING: | WOOD DOOR, ALSF FRAME -100 | WOOD DOOR, DSO FRAME -104 | |
|---------------------------------|----------------------------|---------------------------|--------------------|
| Each door or doors should have: | | | |
| QTY | DESCRIPTION | QTY | DESCRIPTION |
| 3 EA. | HINGES | 3 EA. | HINGES |
| 1 EA. | PASSAGE LATCH | 1 EA. | STORAGE LOCK |



LEGEND - DOOR
1/2" = 1'-0"

DOOR SCHEDULE (E)

| DOOR NUMBER | INT/EXT | DOOR | | | | FRAME | | HARDWARE GROUP | DETAILS | | | COMMENTS |
|-------------|---------|--------|------------|------|-----|-------|-----|----------------|---------|------|------|--|
| | | WIDTH | HEIGHT | TYPE | FIN | TYPE | MAT | | FIN | HEAD | JAMB | |
| EX 200A | EXT | 5'-2" | 7'-1 1/2" | B | | B | WD | 5 | | | | |
| EX 200B | INT | 4'-11" | 6'-11 1/2" | D | | | | | | | | |
| EX 201 | INT | 3'-0" | 6'-7" | A | | A | WD | 6 | | | | REPLACE (E) DOOR HANDLES TO BE ADA COMPLIANT |
| EX 202 | INT | 3'-0" | 6'-7" | A | | A | WD | 6 | | | | REPLACE (E) DOOR HANDLES TO BE ADA COMPLIANT |
| EX 203 | INT | 2'-4" | 6'-7" | B | | A | WD | 7 | | | | REPLACE (E) DOOR HANDLES TO BE ADA COMPLIANT |

HARDWARE GROUP 5

OPENING: WOOD DOOR - EX 200A

Each door or doors should have:

| QTY | DESCRIPTION |
|-------|---------------------|
| 1 EA. | SEAL |
| 1 EA. | WEATHER BARRIER |
| 1 EA. | CLOSER |
| 1 EA. | MANUAL - FLUSH BOLT |

HARDWARE GROUP 6

OPENING: WOOD DOOR - EX 201 / EX 202

Each door or doors should have:

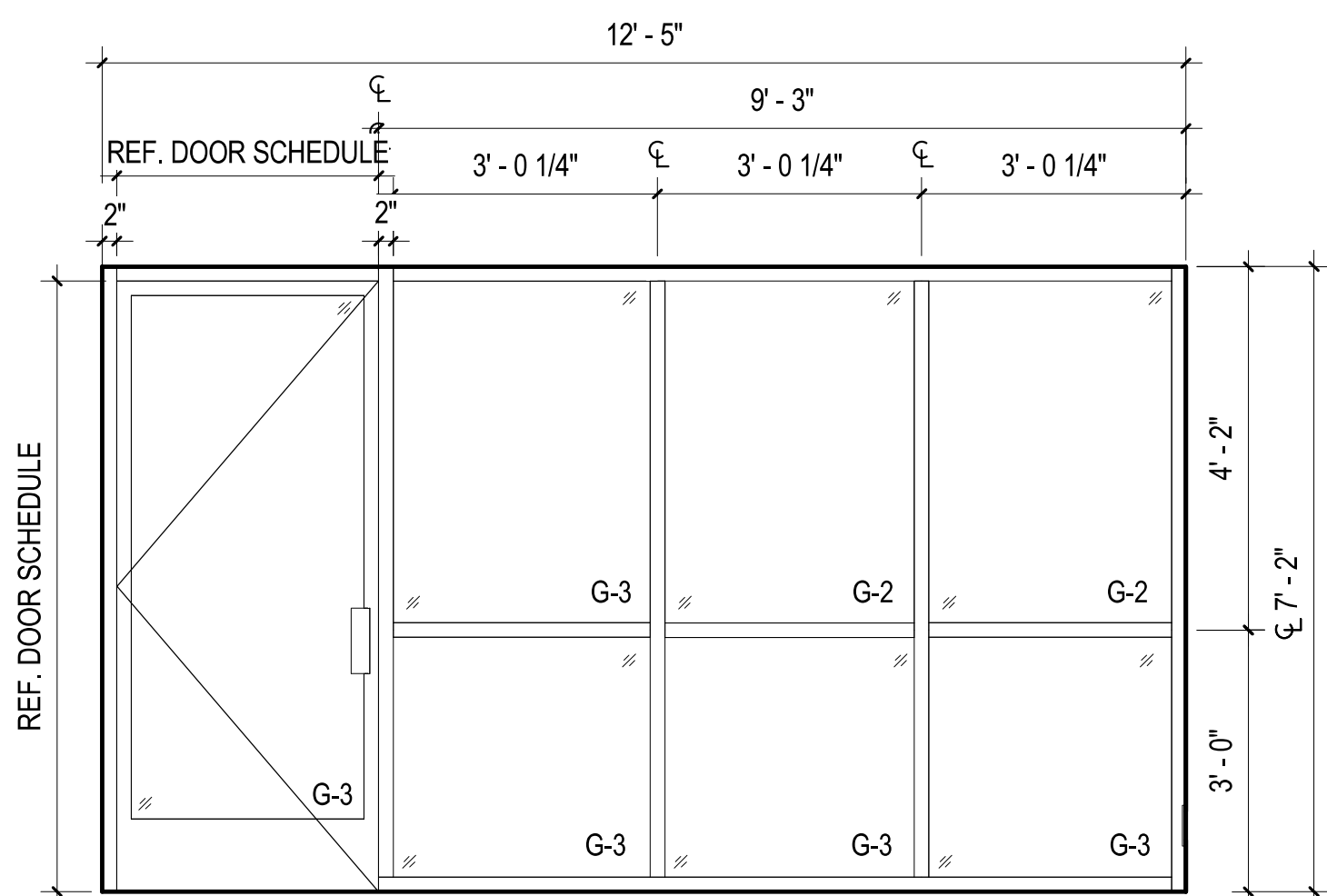
| QTY | DESCRIPTION |
|-------|-----------------|
| 1 EA. | OFFICE LOCK SET |

HARDWARE GROUP 7

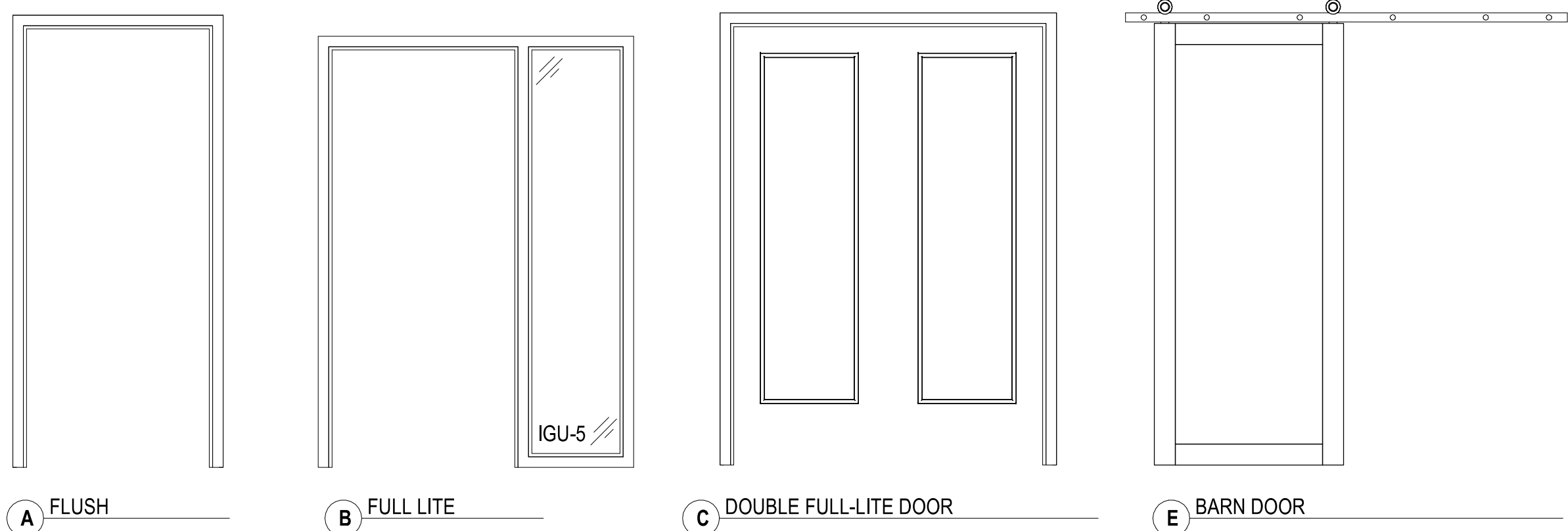
OPENING: WOOD DOOR - EX 203

Each door or doors should have:

| QTY | DESCRIPTION |
|-------|---|
| 1 EA. | PASSAGE LATCH w/ OCC, DISPLAY INDICATOR |



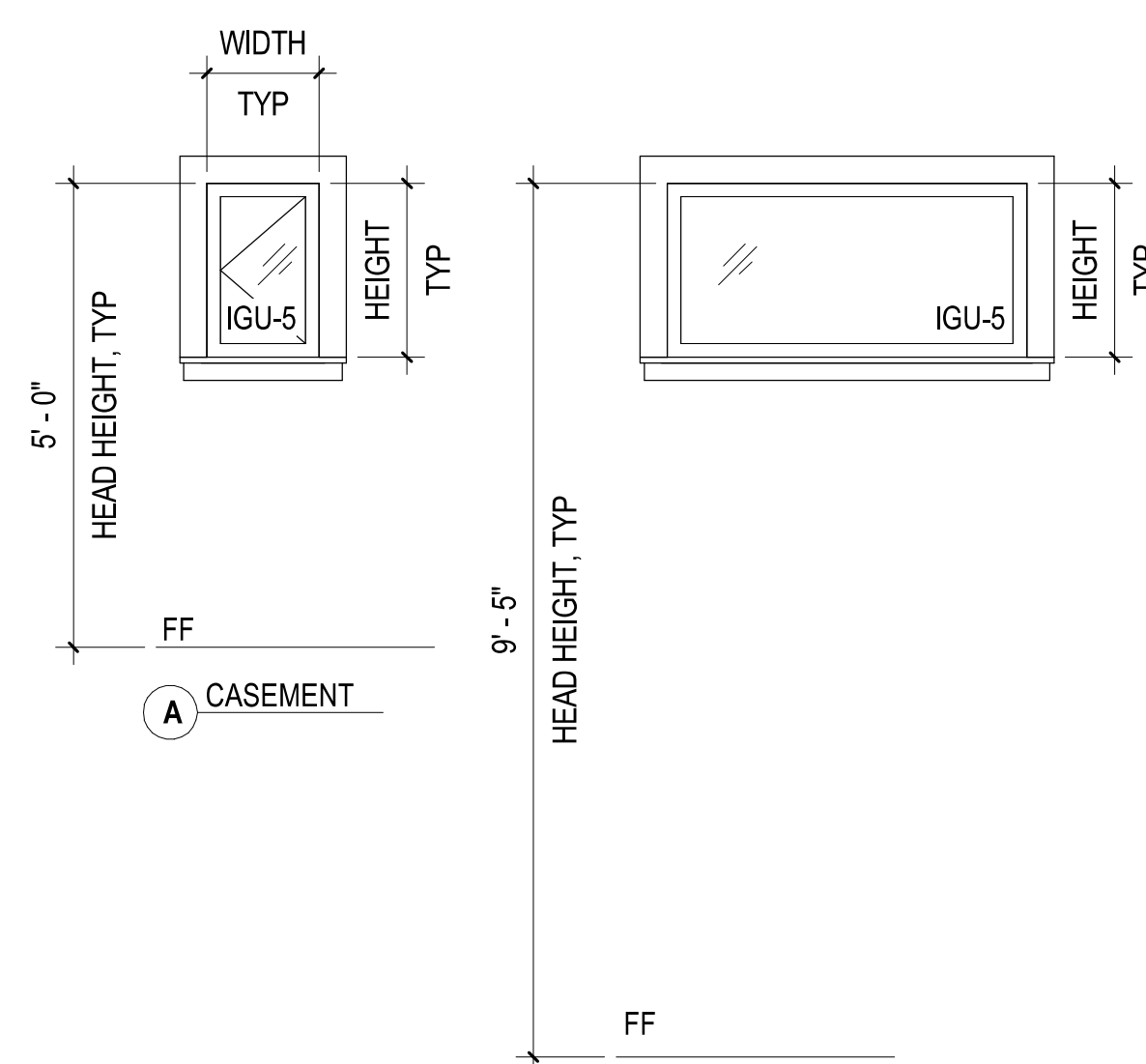
1 STOREFRONT
1/2" = 1'-0"



LEGEND - DOOR FRAME
1/2" = 1'-0"

WINDOW SCHEDULE

| SYM | SIZE | | TYPE | FRAME MATERIAL | FRAME FINISH (EXT/INT) | DETAILS | | | COMMENTS |
|-----|-------|--------|------|----------------|------------------------|---------|------|------|----------|
| | WIDTH | HEIGHT | | | | HEAD | JAMB | SILL | |
| B | 4'-0" | 2'-0" | B | FIBERGLASS | MATCH EXISTING | | | | |
| A | 2'-3" | 5'-0" | A | FIBERGLASS | DARK BRONZE/ WHITE | | | | |
| A | 2'-3" | 5'-0" | A | FIBERGLASS | DARK BRONZE/ WHITE | | | | |
| A | 2'-3" | 5'-0" | A | FIBERGLASS | DARK BRONZE/ WHITE | | | | |
| A | 2'-3" | 5'-0" | A | FIBERGLASS | DARK BRONZE/ WHITE | | | | |
| A | 2'-3" | 5'-0" | A | FIBERGLASS | DARK BRONZE/ WHITE | | | | |
| A | 2'-3" | 5'-0" | A | FIBERGLASS | DARK BRONZE/ WHITE | | | | |
| A | 2'-3" | 5'-0" | A | FIBERGLASS | DARK BRONZE/ WHITE | | | | |



LEGEND - WINDOWS
1/2" = 1'-0"

GENERAL NOTES

1.

ABBREVIATIONS

- AL ALUMINUM
- AN ANODIZED
- BF BI-FOLD
- BR BIOMETRIC READER
- CAT CATCH
- CO CASED OPENING
- CYL CYLINDRICAL LOCK
- CR CARD READER
- DSO DRYWALL SLIP-ON
- F FLUSH
- FD FRENCH DOOR
- FF FACTORY FINISH
- FB KEY FOB
- GL GLASS
- HM HOLLOW METAL
- HG HINGE
- KP KEYPAD
- MFR MANUFACTURER
- MOR MORTICE LOCK
- MSO METAL SLIP-ON
- OFHG OFFSET HINGE
- OH OVERHEAD
- OL OFFICE LOCK
- P PAINT
- PIV PIVOT
- PL PASSAGE LOCK
- PO POCKET DOOR
- RA REMOTE ACCESS
- RL RESTROOM LOCK
- S STAIN
- SC SOLID CORE WOOD - STAIN TO MATCH
- SF ARCHITECT SAMPLE
- SG STOREFRONT
- SL SECURITY GLASS
- SLL STOREROOM LOCK
- SLD SLIDING
- STL STEEL
- TG TEMPERED GLASS
- VL VESTIBULE LOCK



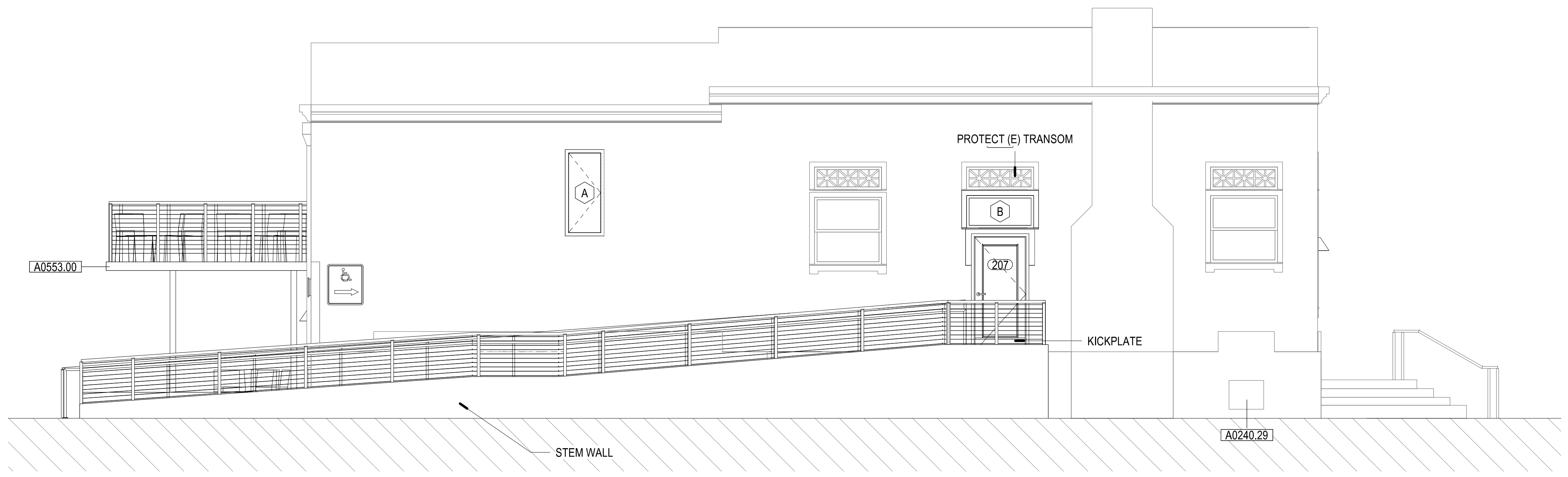
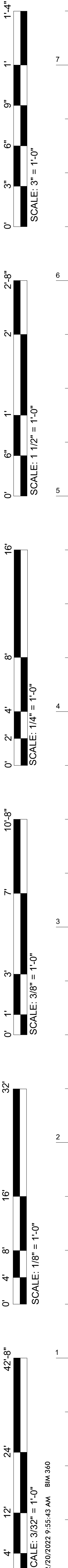
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 ASSESSOR'S PARCEL NUMBER: 53-352-100

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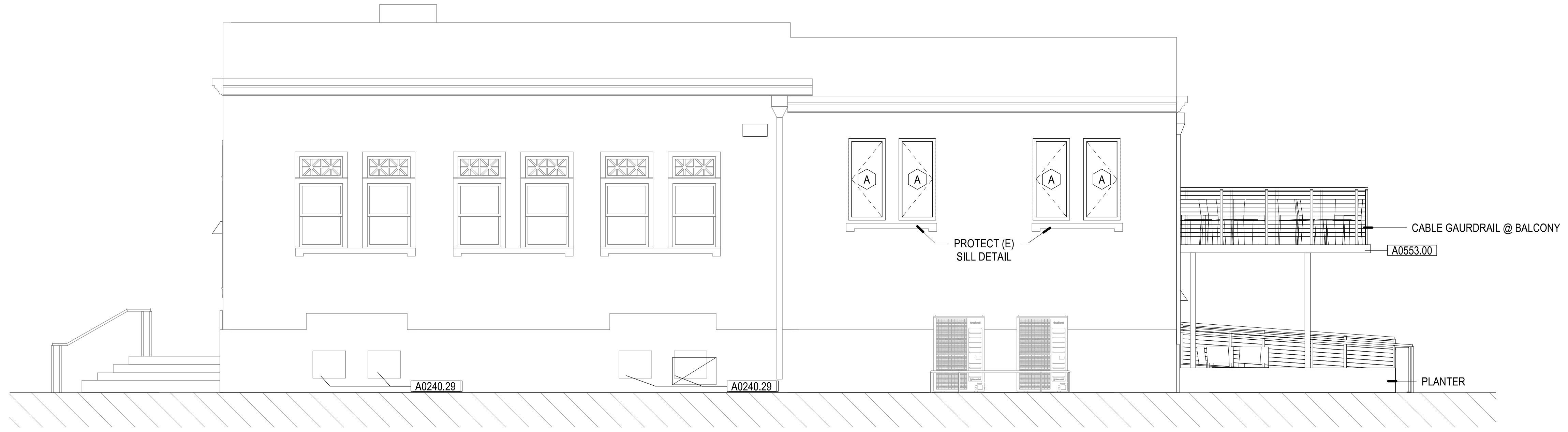
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DOOR & WINDOW SCHEDULE



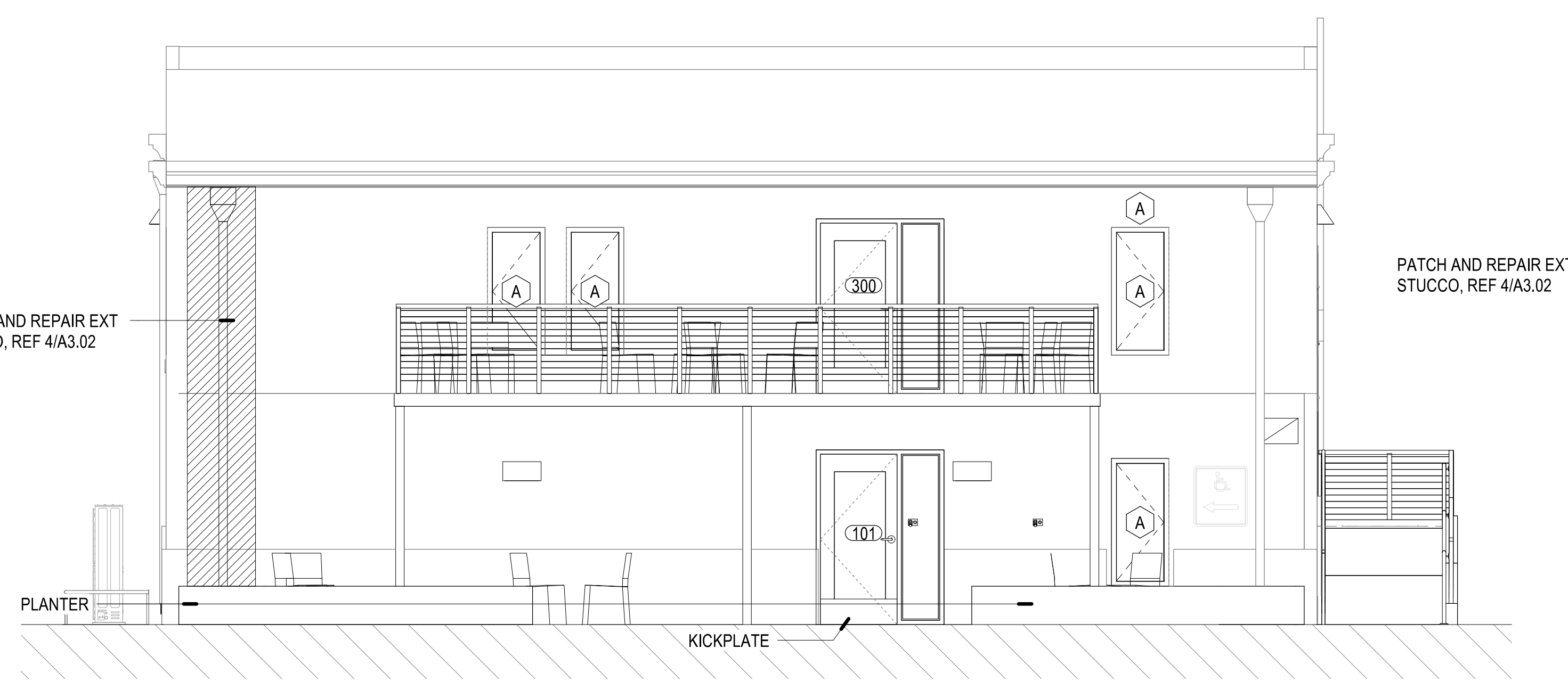
4 BUILDING ELEVATION -WEST
1/4" = 1'-0"



3 BUILDING ELEVATION -EAST
1/4" = 1'-0"



2 BUILDING ELEVATION -SOUTH
1/4" = 1'-0"



1 BUILDING ELEVATION -NORTH
1/4" = 1'-0"

GENERAL NOTES

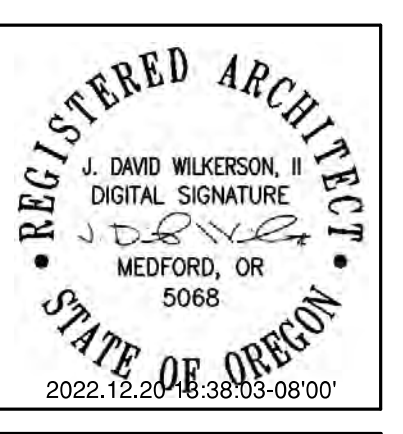
- NUMBERS AT CASEWORK LOCATIONS INDICATE CABINET STYLE IN ACCORDANCE WITH THOSE DESCRIBED BY THE ARCHITECTURAL WOODWORK STANDARDS - 3.0, JULY 1, 2016. CABINET DEPTHS ARE FROM FACE OF DOOR TO BACK OF CABINET BACK. UNLESS NOTED OTHERWISE, COUNTERTOPS ARE 24 INCHES DEEP. WALL AND TALL CABINETS ARE 15 INCHES DEEP. MOISTURE RESISTANT TOE KICK REQUIRED AT ALL CASEWORK LOCATIONS IN WET AREAS.

LEGEND



KEYNOTES

| # | NOTE |
|----------|--|
| A0240.28 | REMOVE (E) DECORATIVE WOOD TO EXPOSE (E) HISTORIC SURFACE AND/OR SIGNAGE. CLEAN AND REPAIR AS NEEDED |
| A0240.29 | REPLACE (E) CRAWLSPACE OPENING WITH LOUVERS. REF MECH DWGS |
| A0553.00 | METAL GRATE, REF STRUCTURAL DWGS |



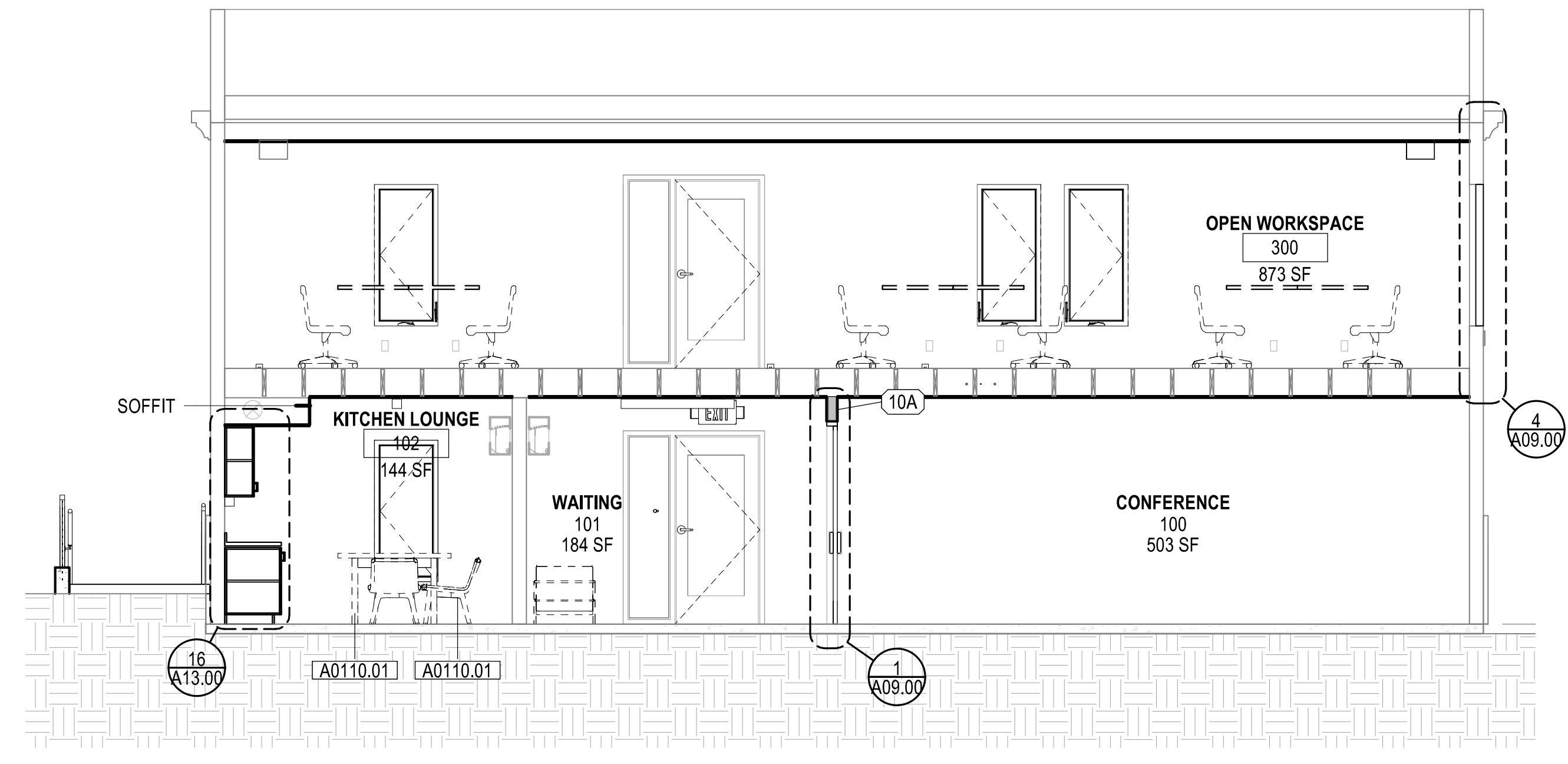
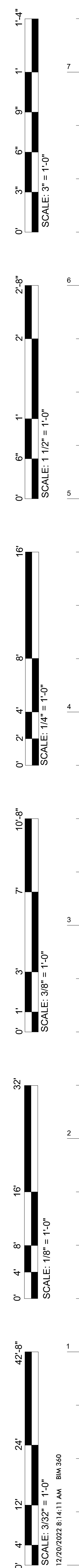
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BUILDING ELEVATIONS

PROJECT: 2146
DATE: 12/20/2022

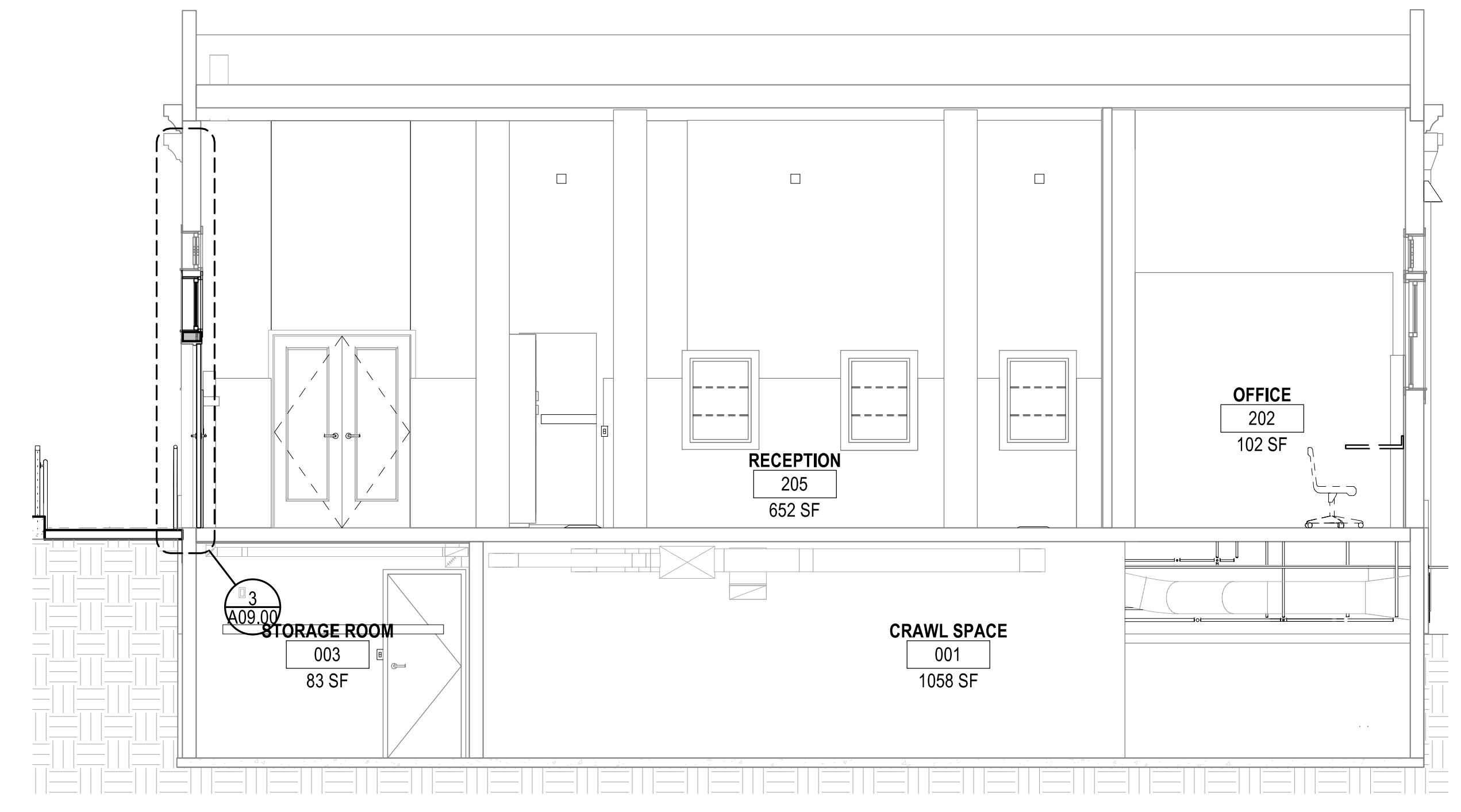
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A07.00

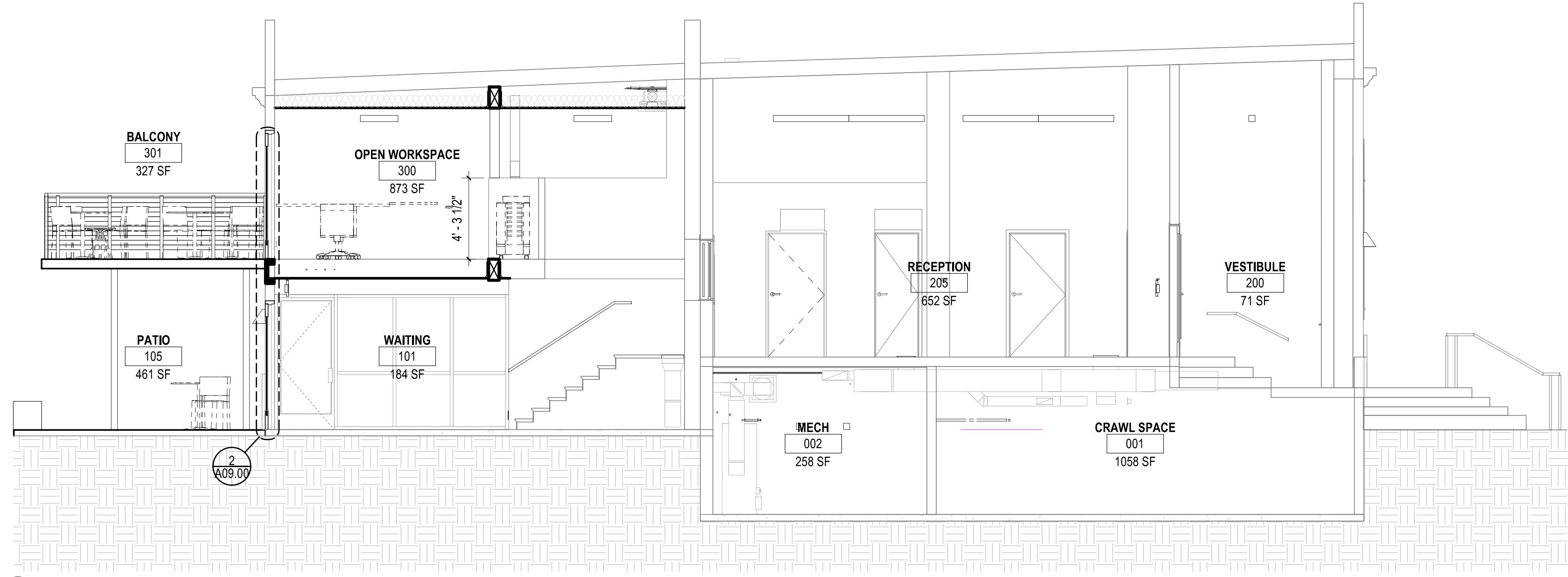
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3 BUILDING SECTION - CROSS THROUGH NEW ADDITION
1/4" = 1'-0"



2 BUILDING SECTION - CROSS THROUGH HISTORIC BUILDING
1/4" = 1'-0"



1 BUILDING SECTION - CROSS THROUGH RECEPTION
1/4" = 1'-0"

GENERAL NOTES

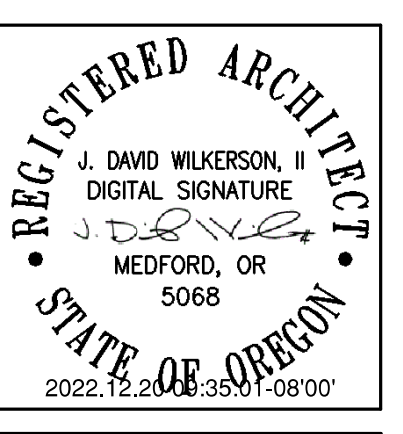
- NUMBERS AT CASEWORK LOCATIONS INDICATE CABINET STYLE IN ACCORDANCE WITH THOSE DESCRIBED BY THE ARCHITECTURAL WOODWORK STANDARDS - 3.0, JULY 1, 2016. CABINET DEPTHS ARE FROM FACE OF DOOR TO BACK OF CABINET BACK. UNLESS NOTED OTHERWISE, COUNTERTOPS ARE 24 INCHES DEEP. WALL AND TALL CABINETS ARE 15 INCHES DEEP.
- MOISTURE RESISTANT TOE KICK REQUIRED AT ALL CASEWORK LOCATIONS IN WET AREAS.

LEGEND



KEYNOTES

| # | NOTE |
|----------|-----------------|
| A0110.01 | FURNITURE, OFOI |



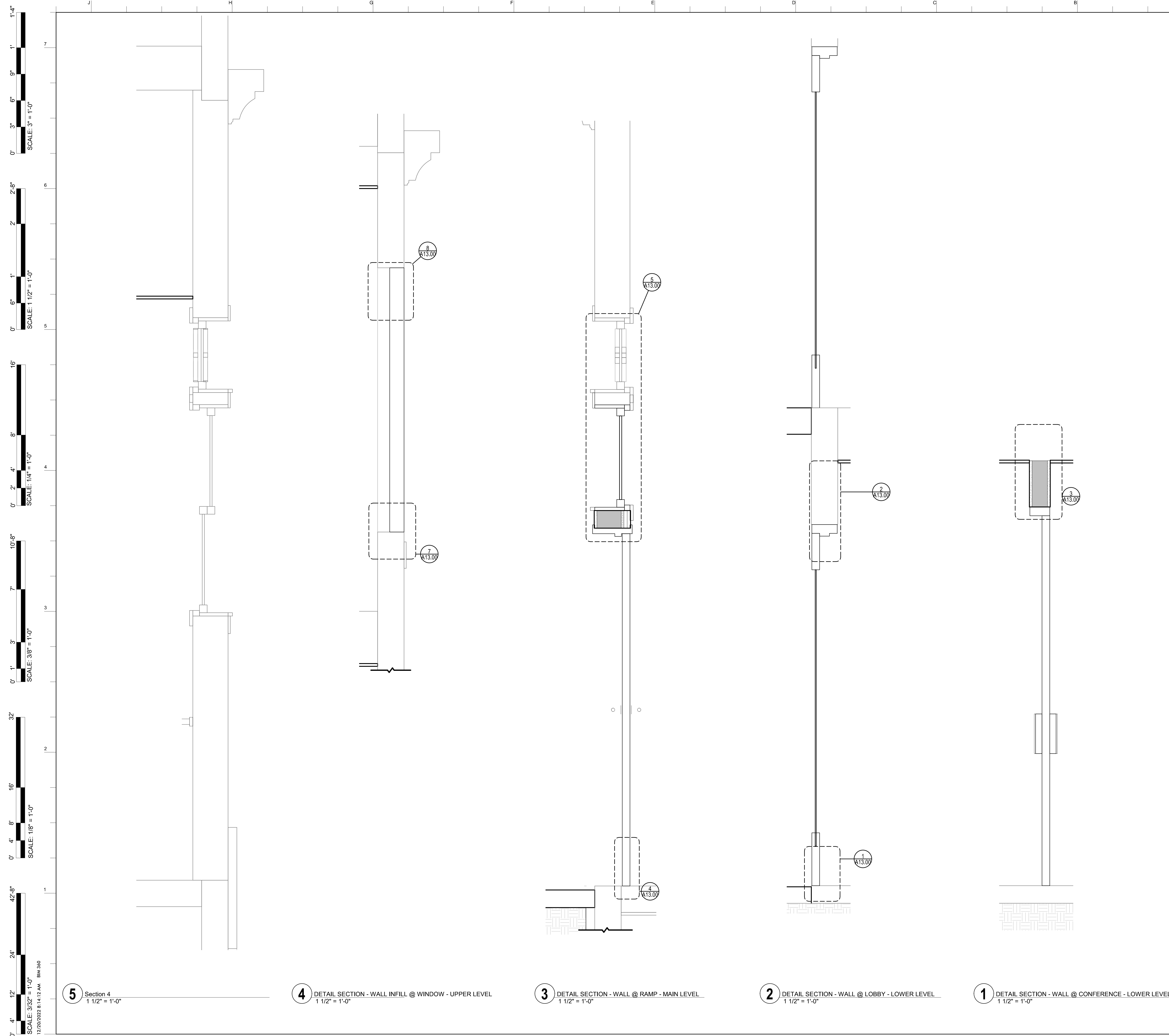
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BUILDING SECTIONS

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| No. | Description | Date |
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A08.00



GENERAL NOTES

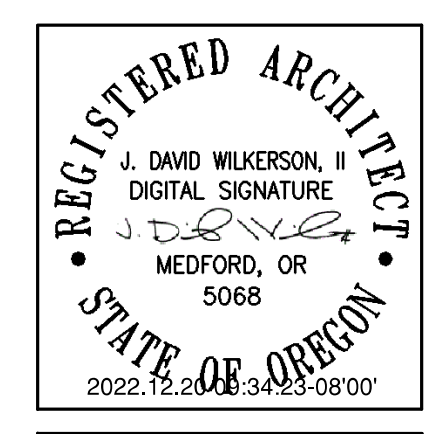
- NUMBERS AT CASEWORK LOCATIONS INDICATE CABINET STYLE IN ACCORDANCE WITH THOSE DESCRIBED BY THE ARCHITECTURAL WOODWORK STANDARDS - 3.0, JULY 1, 2016. CABINET DEPTHS ARE FROM FACE OF DOOR TO BACK OF CABINET BACK. UNLESS NOTED OTHERWISE, COUNTERTOPS ARE 24 INCHES DEEP. WALL AND TALL CABINETS ARE 15 INCHES DEEP. MOISTURE RESISTANT TOE KICK REQUIRED AT ALL CASEWORK LOCATIONS IN WET AREAS.

LEGEND

OPERABLE DOOR / WINDOW LOCATION

KEYNOTES

| # | NOTE |
|---|------|
| | |



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WALL SECTIONS

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| DATE: | 12/20/2022 | |
| No. | Description | Date |
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A09.00

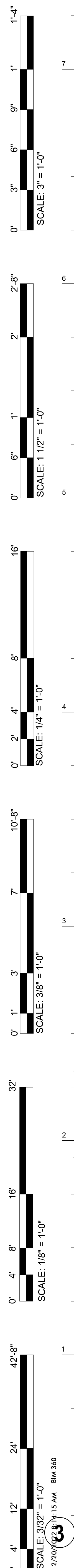
5 Section 4
 1 1/2" = 1'-0"

4 DETAIL SECTION - WALL INFILL @ WINDOW - UPPER LEVEL
 1 1/2" = 1'-0"

3 DETAIL SECTION - WALL @ RAMP - MAIN LEVEL
 1 1/2" = 1'-0"

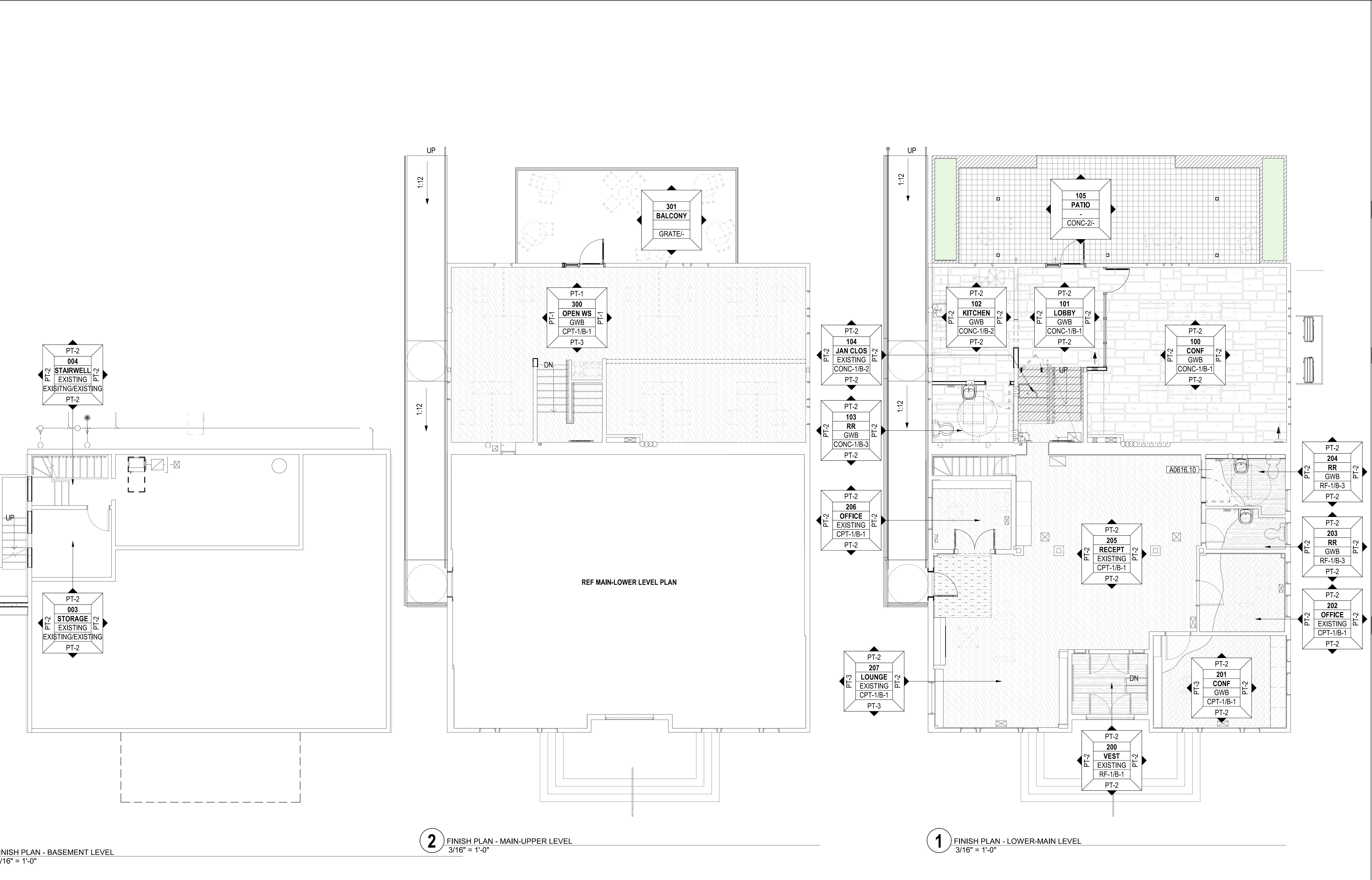
2 DETAIL SECTION - WALL @ LOBBY - LOWER LEVEL
 1 1/2" = 1'-0"

1 DETAIL SECTION - WALL @ CONFERENCE - LOWER LEVEL
 1 1/2" = 1'-0"



| ROOM FINISH SCHEDULE | | | | | | | | | | |
|----------------------|-----------------|--------------|----------------|----------------|----------|-------------|------------|-------------|------------|----------|
| ROOM NO. | ROOM NAME | ABBREVIATION | CEILING FINISH | FLOOR MATERIAL | BASE | NORTH WALLS | EAST WALLS | SOUTH WALLS | WEST WALLS | COMMENTS |
| 001 | CRAWL SPACE | CRAWL | EXISTING | EXISTING | EXISTING | - | - | - | - | |
| 002 | MECH | MECH | EXISTING | EXISTING | EXISTING | - | - | - | - | |
| 003 | STORAGE ROOM | STORAGE | EXISTING | EXISTING | EXISTING | PT-2 | PT-2 | PT-2 | PT-2 | |
| 004 | STAIRWELL | STAIRWELL | EXISTING | EXISTING | EXISTING | PT-2 | PT-2 | PT-2 | PT-2 | |
| 100 | CONFERENCE | CONF | GWB | CONC-1 | B-1 | PT-2 | PT-2 | PT-2 | PT-2 | |
| 101 | WAITING | LOBBY | GWB | CONC-1 | B-1 | PT-2 | PT-2 | PT-2 | PT-2 | |
| 102 | KITCHEN LOUNGE | KITCHEN | GWB | CONC-1 | B-2 | PT-2 | PT-2 | PT-2 | PT-2 | |
| 103 | RESTROOM | RR | GWB | CONC-1 | B-3 | PT-2 | PT-2 | PT-2 | PT-2 | |
| 104 | JAN CLOS | JAN CLOS | EXISTING | CONC-1 | B-2 | PT-2 | PT-2 | PT-2 | PT-2 | |
| 105 | PATIO | PATIO | - | CONC-2 | - | - | - | - | - | |
| 200 | VESTIBULE | VEST | EXISTING | RF-1 | B-1 | PT-2 | PT-2 | PT-2 | PT-2 | |
| 201 | CONFERENCE | CONF | GWB | CPT-1 | B-1 | PT-2 | PT-2 | PT-2 | PT-3 | |
| 202 | OFFICE | OFFICE | EXISTING | CPT-1 | B-1 | PT-2 | PT-2 | PT-2 | PT-2 | |
| 203 | RESTROOM | RR | GWB | RF-1 | B-3 | PT-2 | PT-2 | PT-2 | PT-2 | |
| 204 | RESTROOM | RR | GWB | RF-1 | B-3 | PT-2 | PT-2 | PT-2 | PT-2 | |
| 205 | RECEPTION | RECEPT | EXISTING | CPT-1 | B-1 | PT-2 | PT-2 | PT-2 | PT-2 | |
| 206 | OFFICE | OFFICE | EXISTING | CPT-1 | B-1 | PT-2 | PT-2 | PT-2 | PT-2 | |
| 207 | FIRESIDE LOUNGE | LOUNGE | EXISTING | CPT-1 | B-1 | PT-2 | PT-2 | PT-3 | PT-3 | |
| 208 | OFFICE | OFFICE | EXISTING | CPT-1 | RB-1 | PT-1 | PT-1 | PT-3 | PT-1 | |
| 300 | OPEN WORKSPACE | OPEN WS | GWB | CPT-1 | B-1 | PT-1 | PT-1 | PT-3 | PT-1 | |
| 301 | BALCONY | BALCONY | - | GRATE | - | - | - | - | - | |

| DIVNUM | DIVISION | SECTION | KEY | NAME | MANUFACTURER | SHEEN | STYLE | COLOR | FINISH | NOTES |
|--------|-------------------|----------|--------|--------------------------|------------------|----------------|----------------------------|-----------------------------------|-----------------------|----------------------------------|
| 03 | CONCRETE | | CONC-1 | | | | | | | Polished conc |
| | | | CONC-2 | | | | Ashlar Italian Slate | | | |
| 06 | WOOD AND PLASTICS | | PLAM-1 | Plastic Laminate | Formica | | | Dune Wood 7182-58 | | |
| | | 06 40 00 | SURF-1 | Solid Surface | Corian Quartz | | | Beige Royale | | |
| | | 06 42 00 | VEN-1 | Wood Veneer Panels | N/A | Match Existing | D/F, Clear Vert Grain | Dark Stain | Match historic finish | Back panel to display cases |
| 08 | DOORS AND WINDOWS | | DR-1 | Wood Door, Flush | Masonite/VT Ind. | Match Existing | Select Wood Veneer | Light Stain | Nutmeg | At Restroom 103 |
| | | 08 14 33 | DR-2 | Wood Door, S&R | Masonite/VT Ind. | Match Existing | Authentic Stiles and Rails | Dark Stain, Match historic finish | Match historic finish | All other INT doors |
| | | 08 14 33 | DR-3 | Wood Door, S&R | Masonite/VT Ind. | Match Existing | Authentic Stiles and Rails | Light Stain | Nutmeg | At ALSF |
| | | 09 14 33 | DR-4 | Wood Door, S&R | Masonite/VT Ind. | Match Existing | Authentic Stiles and Rails | Dark Bronze(ext), White(nt) | | At Door no - 101, 300 |
| | | 08 54 13 | | Fiberglass | Anderson | | A-series Casement | Dark Bronze(ext), White(nt) | | All windows |
| 09 | FINISHES | | RB-1 | Rubber Wall Base | Roppe | | 4" Standard (no cove) | Black Brown 193 | | |
| | | 09 65 00 | RB-2 | Rubber Wall Base | Roppe | | 4" Coved | Black Brown 193 | | At Polished Concrete |
| | | 09 65 00 | RB-3 | Rubber Wall Base | Roppe | | 6" Coved | Black Brown 193 | | |
| | | 09 65 00 | RF-1 | Resilient Floor | Forbo Marmoleum | | | Graphite 73048 | | |
| | | 09 65 00 | RSC-1 | Resilient Stair Covering | Roppe | | Type 94 Square Nose | Gray | | At entrance stair and back stair |
| | | 09 68 13 | CPT-1 | Carpet Tile | Shaw Contract | | Landform Tile | Sediment 06555 | | |
| | | 09 91 23 | PT-1 | Paint | Sherwin Williams | | | SW 7757 High Reflective White | | Ceiling |
| | | 09 91 23 | PT-2 | Paint | Sherwin Williams | | | SW 7005 Pure White | | Field |
| | | 09 91 23 | PT-3 | Paint | Sherwin Williams | | | SW 7043 Worldly Gray | | Accent |
| | | 09 91 13 | PT-4 | Paint | Sherwin Williams | | | Match Existing | | Exterior |



WALL PAINT LEGEND

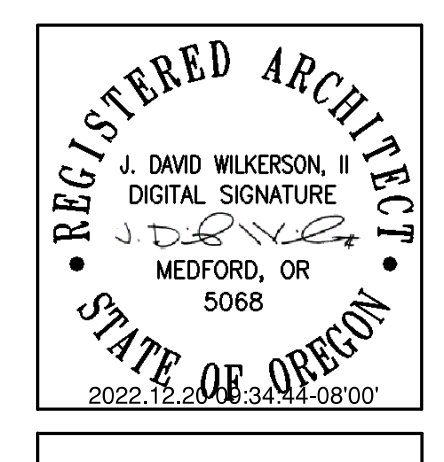
| | | |
|------|----------------------------|-------------|
| PT-1 | STANDARD WALL COLOR | XXXX - XXXX |
| PT-2 | STANDARD ACCENT WALL COLOR | XXXX - XXXX |
| PT-3 | ACCENT WALL COLOR | COLORS TBD |

LEGEND

| | |
|-----------|---|
| [Pattern] | CARPET TILE (CPT-1), REF MATERIALS LEGEND |
| [Pattern] | POLISHED CONCRETE (CONC-1), REF MATERIALS LEGEND |
| [Pattern] | RESILIENT FLOOR (RF-1), REF MATERIALS LEGEND |
| [Pattern] | STAMPED CONCRETE (CONC-2), REF MATERIALS LEGEND |
| [Pattern] | UNDERLAYMENT (3/4") BELOW THE FF @ 201, 202, 203, 204 |

ABBREVIATIONS

| | |
|--------|--|
| ACT | SUSPENDED ACOUSTICAL CEILING TILE |
| BR | BRICK |
| CMU | CONCRETE MASONRY UNIT |
| CONC | CONCRETE |
| CPT | CARPET |
| CS | CONCRETE STAIN |
| CT | CERAMIC TILE |
| FRL | FIBER REINFORCED LAMINATE PANEL |
| FRP | FIBERGLASS REINFORCED PLASTIC |
| GWB | GYPSUM WALL BOARD |
| IRGWB | IMPACT RESISTANT GYPSUM BOARD |
| MP | METAL PANEL |
| MWRGWB | MOLD WATER RESISTANT GYPSUM WALL BOARD |
| OTS | OPEN TO STRUCTURE |
| PLAM | PLASTIC LAMINATE |
| P | PAINT |
| T | TILE |
| RB | RUBBER BASE |
| RF | RESILIENT FLOORING |
| RT | RUBBER TILE |
| SDT | STATIC DISSIPATIVE TILE |
| SC | SEALED CONCRETE |
| SF | STORE FRONT |
| SS | SOLID SURFACE |
| WD | WOOD |
| WOM | WALK OFF MAT |



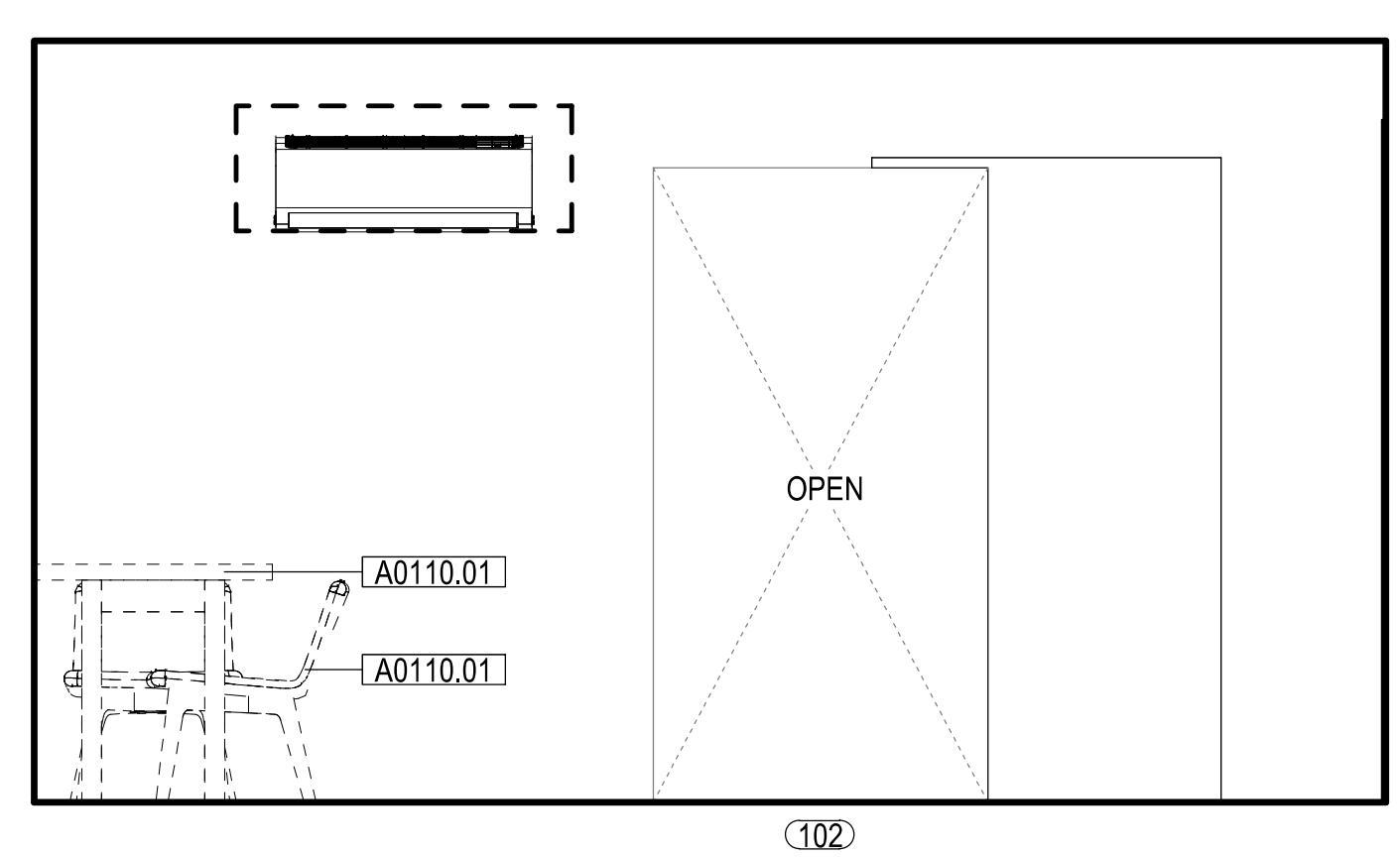
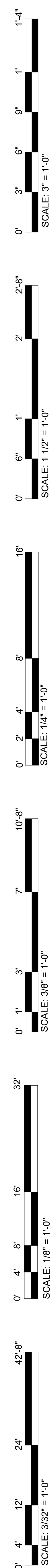
PROJECT: 2146
DATE: 12/20/2022

| No. | Description | Date |
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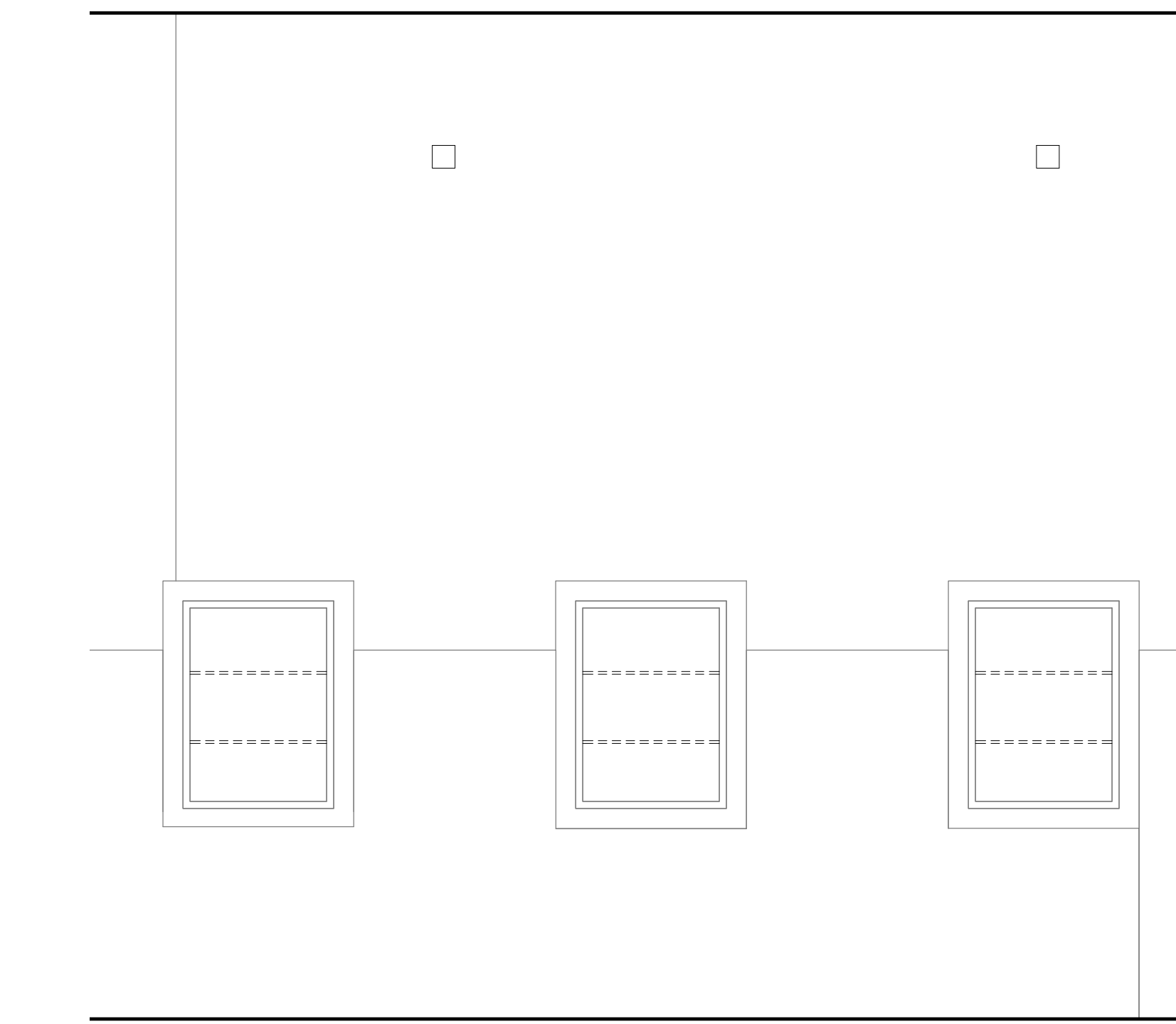
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ASSESSOR'S PARCEL NUMBER: 53-352-100

FINISH PLAN & MATERIALS LEGEND

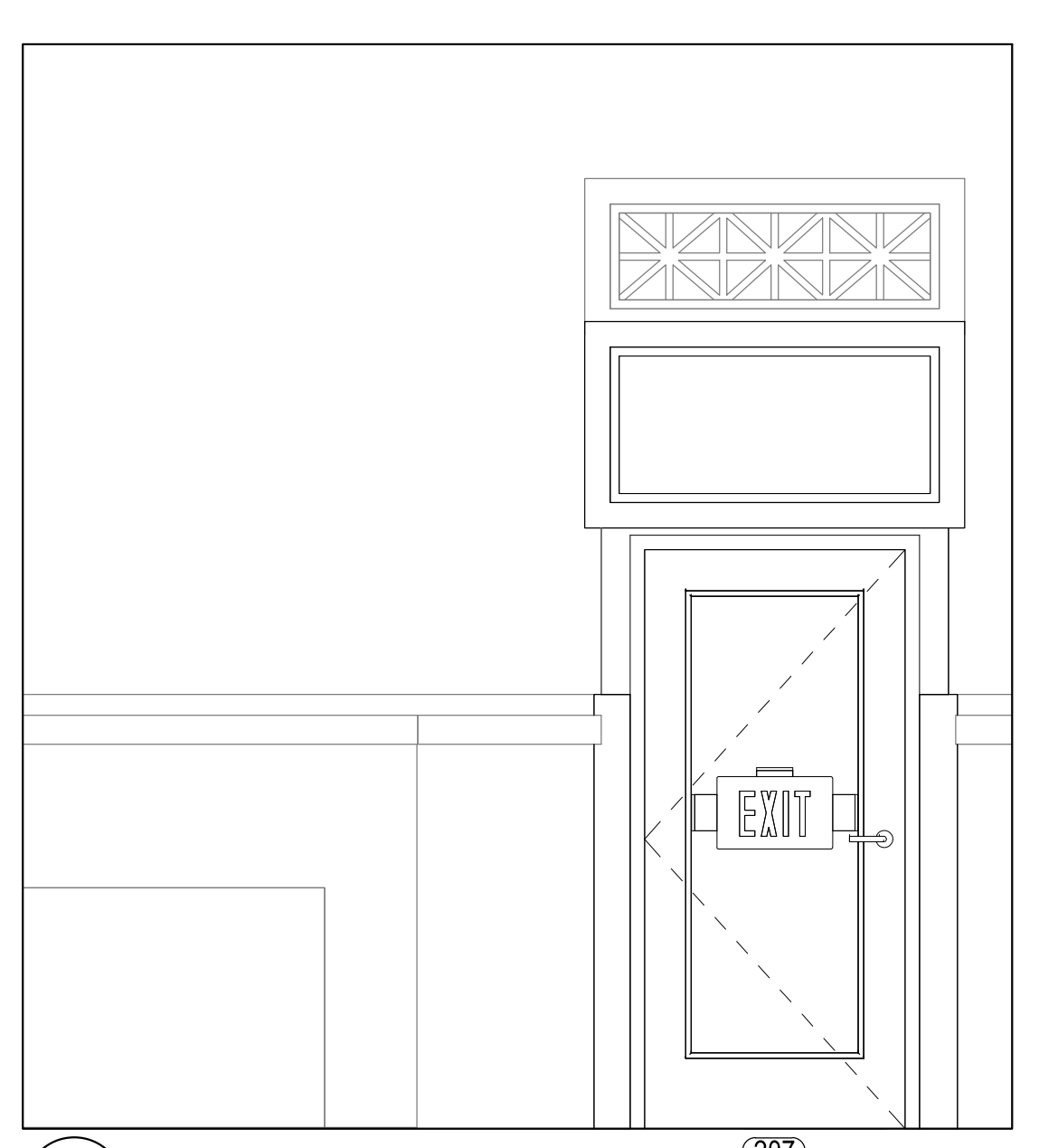
A10.10



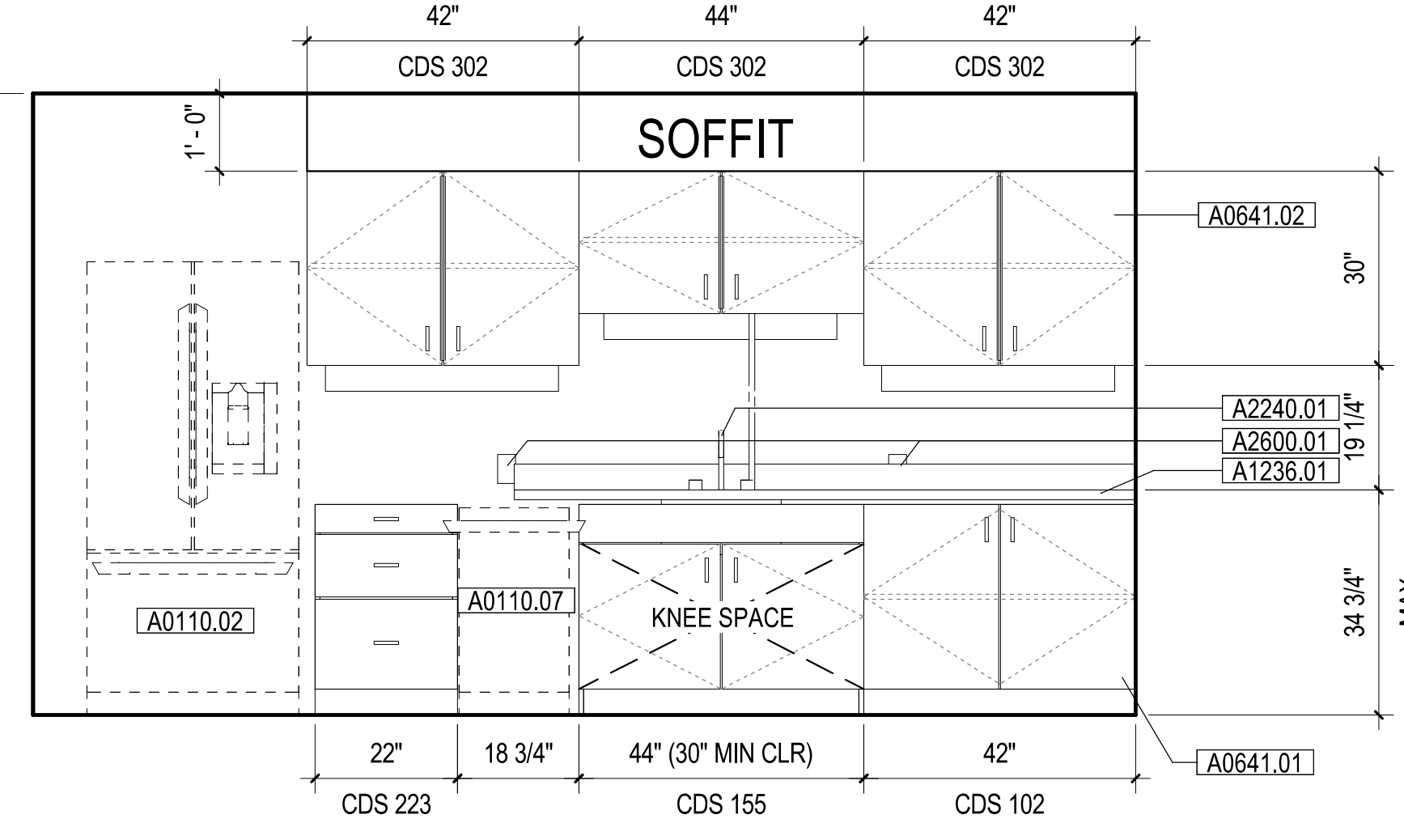
15 WALL OPENING @ KITCHEN
1/2" = 1'-0"



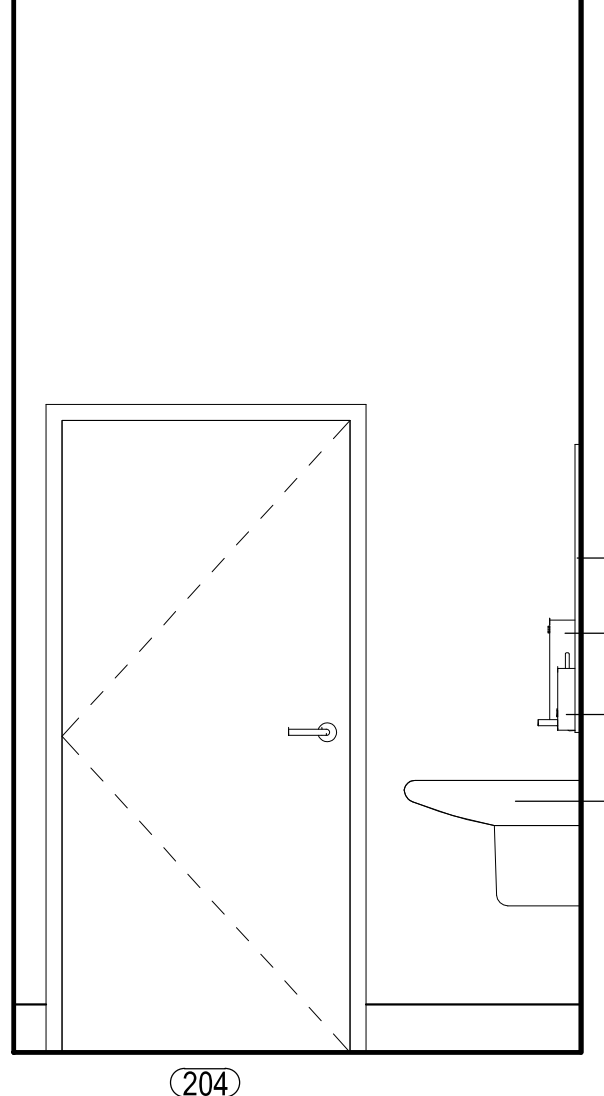
14 DISPLAY CABINET @ RECEPTION
1/2" = 1'-0"



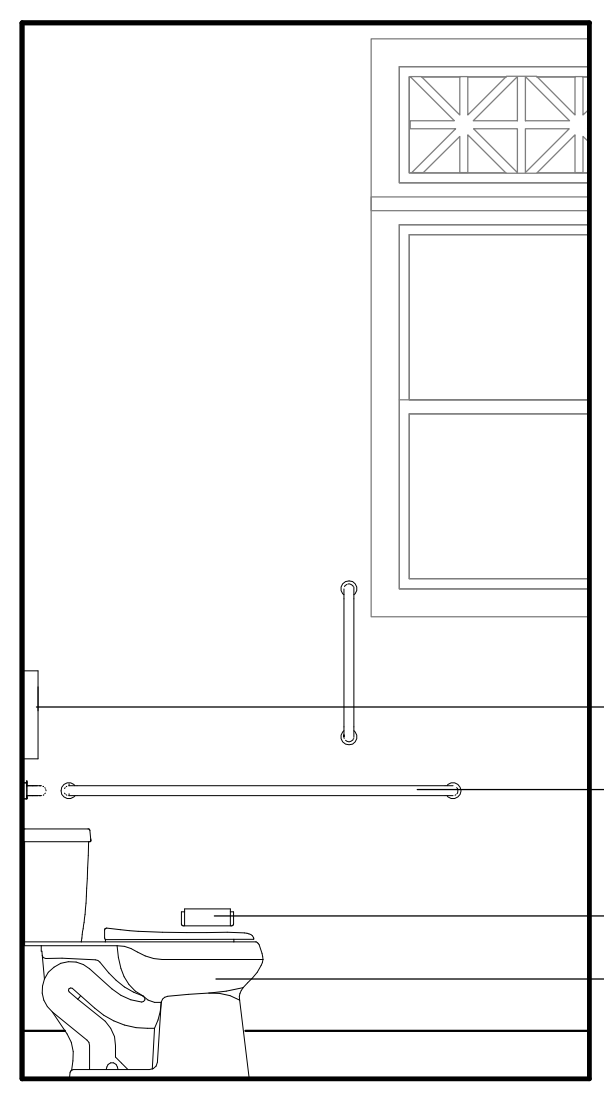
13 207 WEST WALL, FIRE LOUNGE
1/2" = 1'-0"



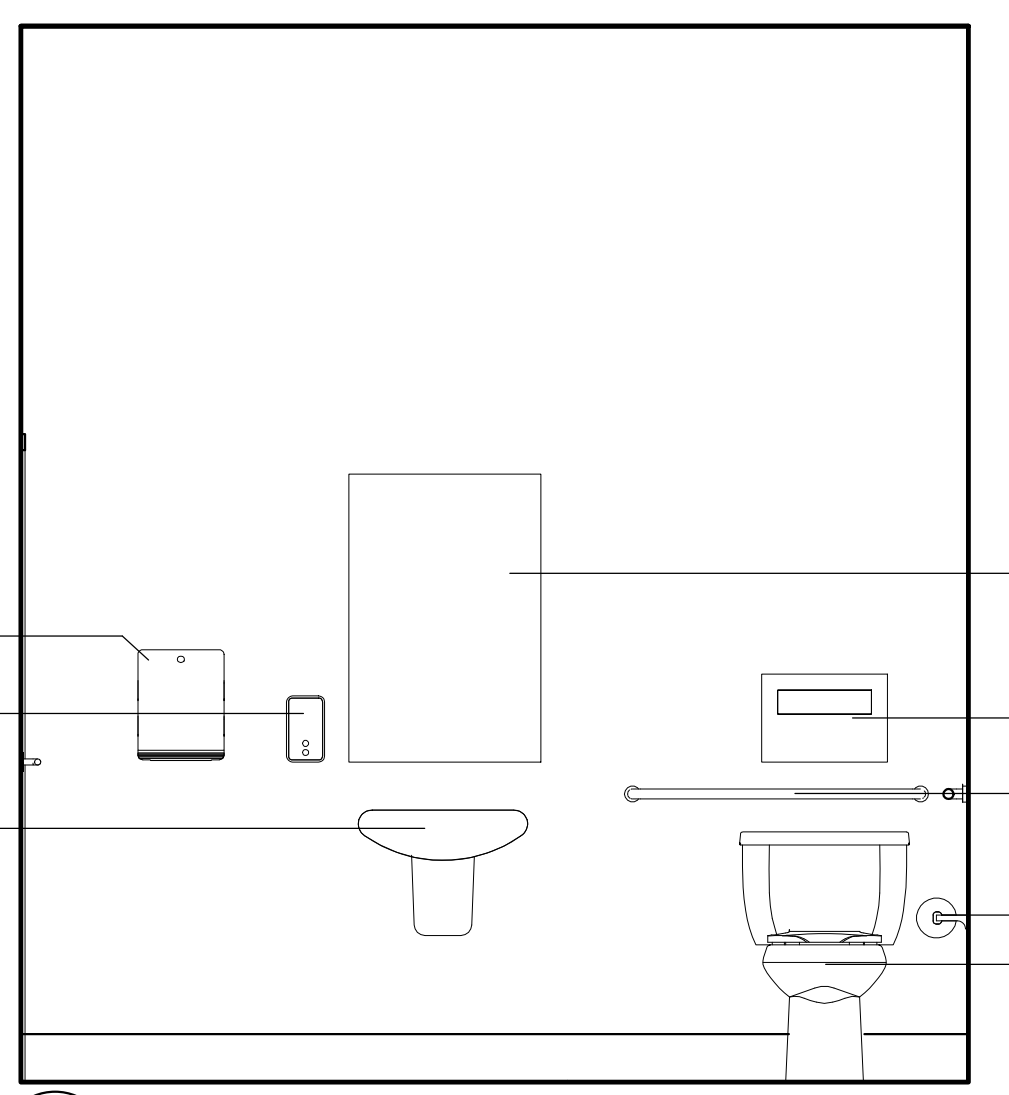
12 WEST WALL, KITCHEN LOUNGE - LOWER LEVEL
1/2" = 1'-0"



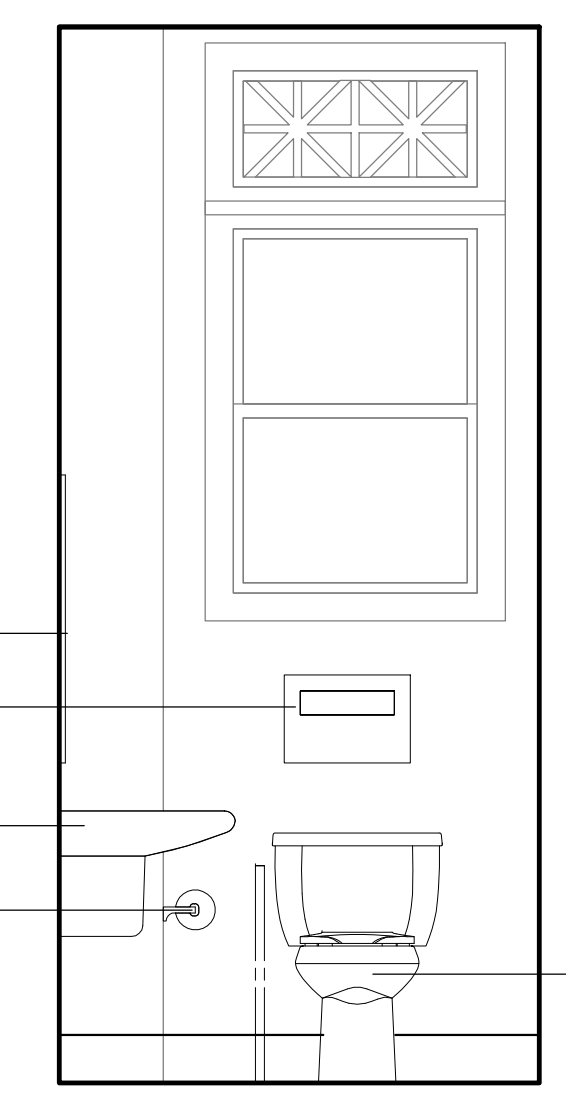
11 204 RESTROOM, WEST
1/2" = 1'-0"



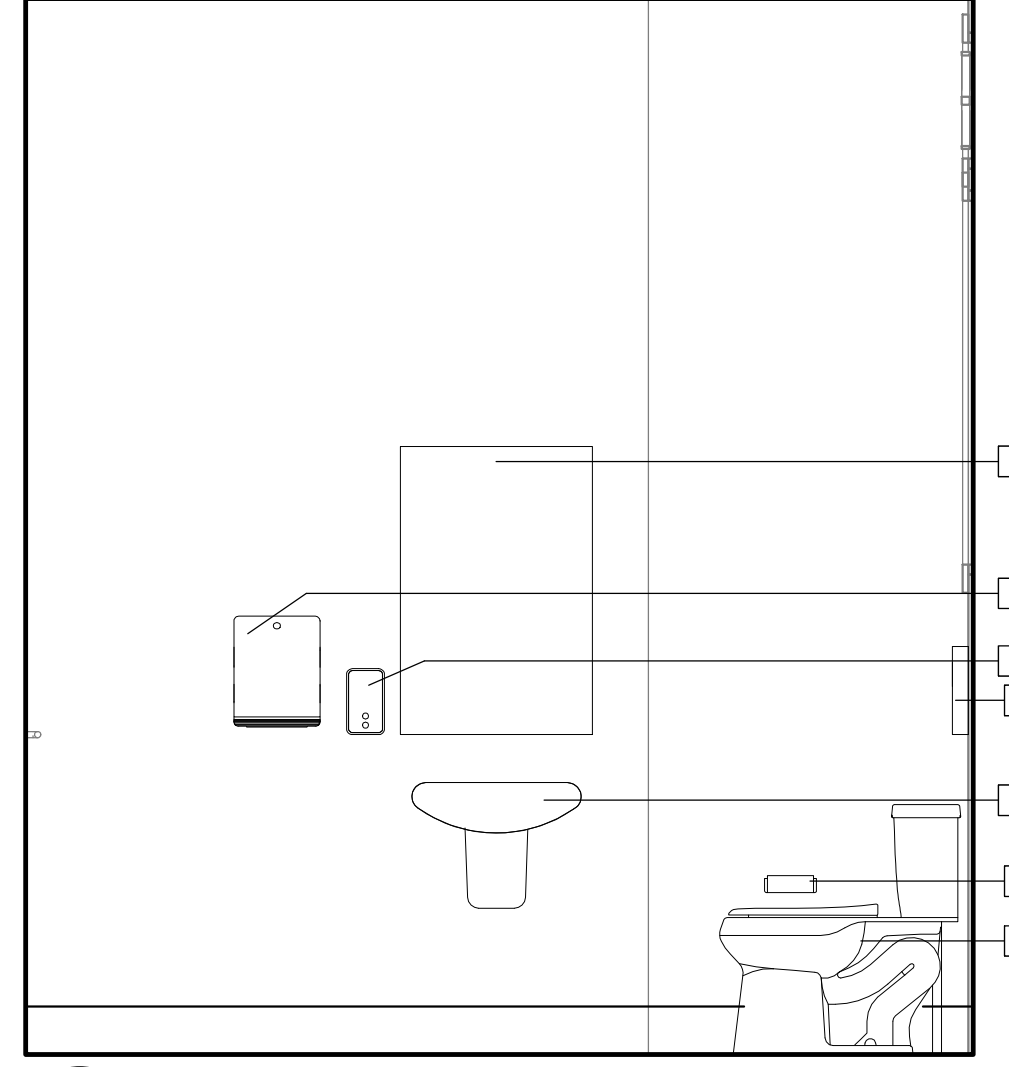
10 204 RESTROOM, EAST
1/2" = 1'-0"



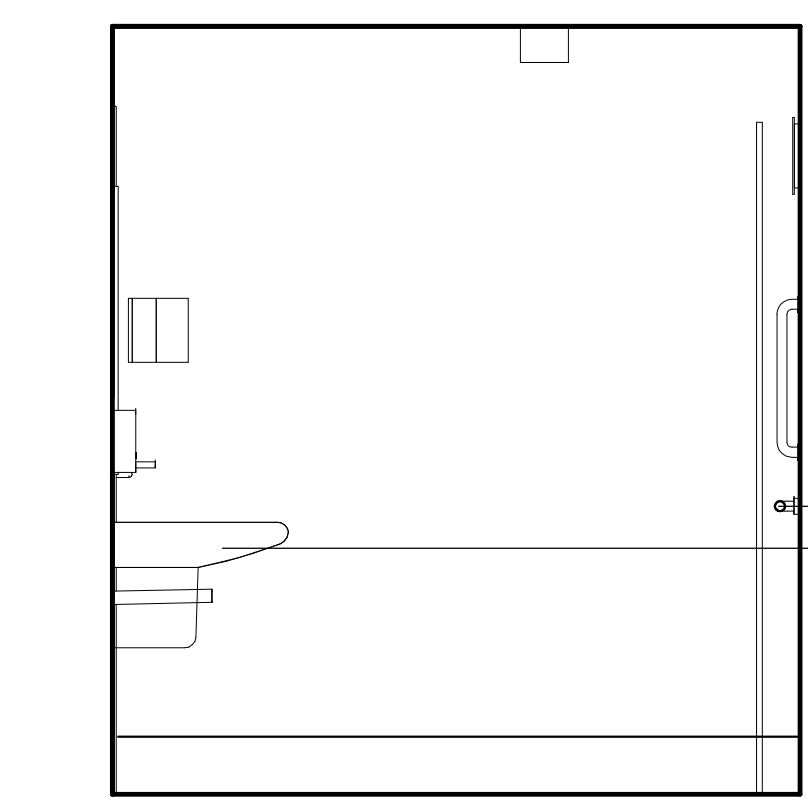
9 204 RESTROOM, NORTH
1/2" = 1'-0"



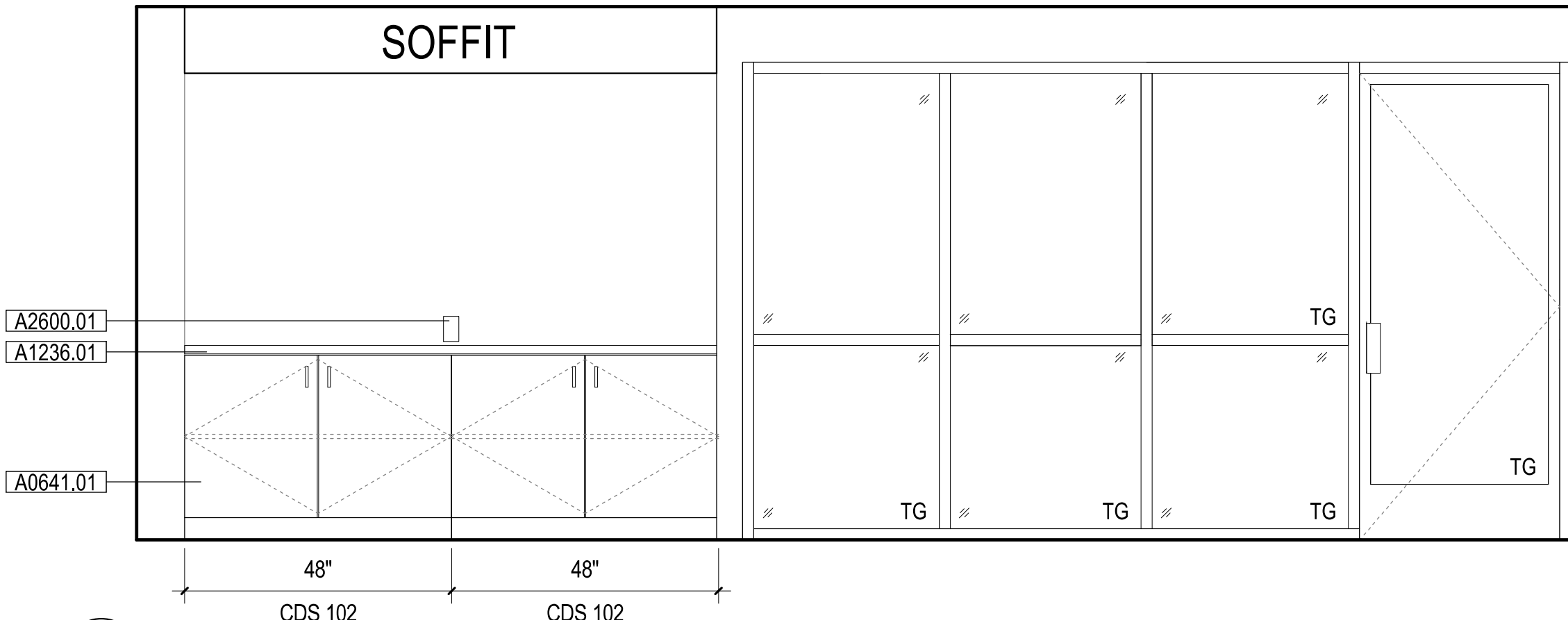
8 203 RESTROOM, EAST
1/2" = 1'-0"



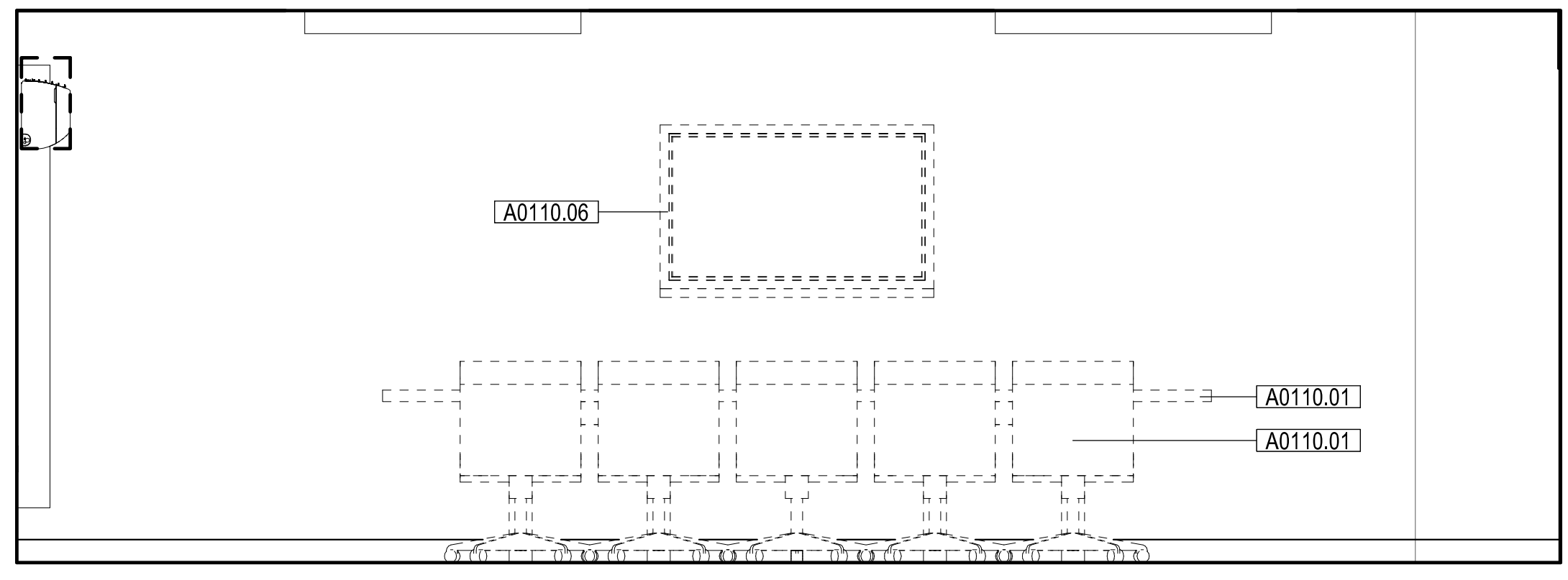
7 203 RESTROOM, NORTH
1/2" = 1'-0"



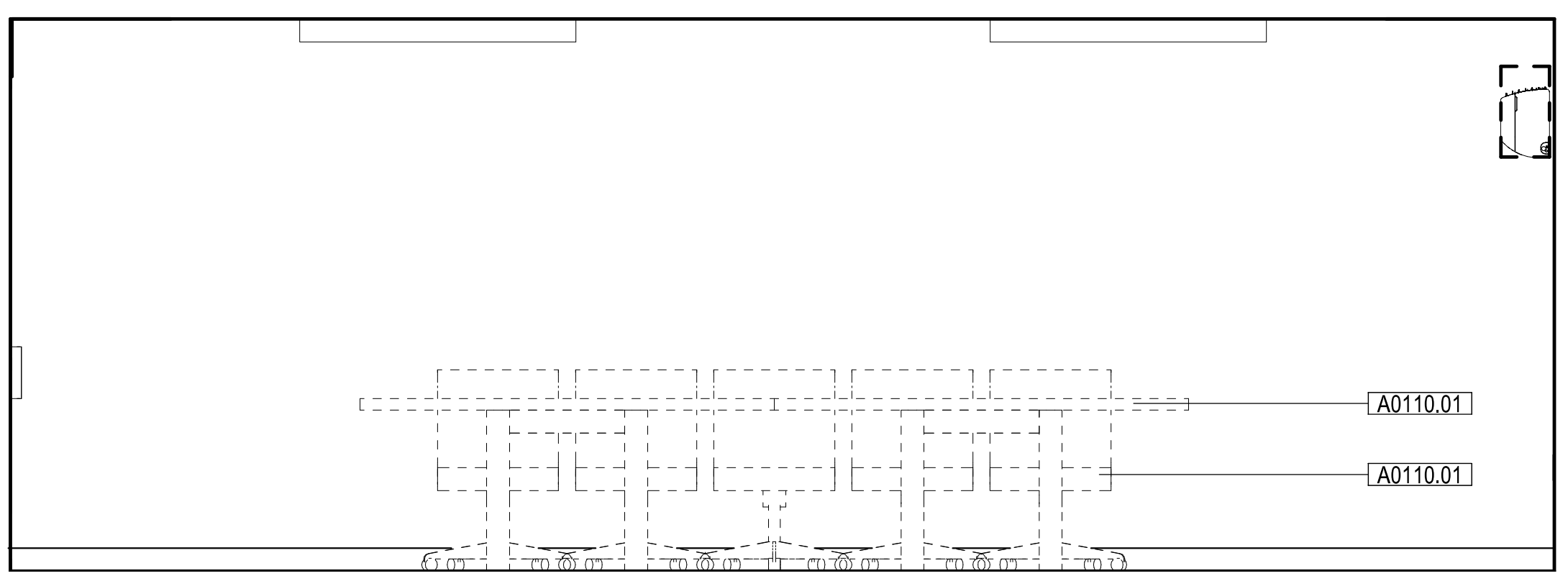
6 103 RESTROOM, EAST
1/2" = 1'-0"



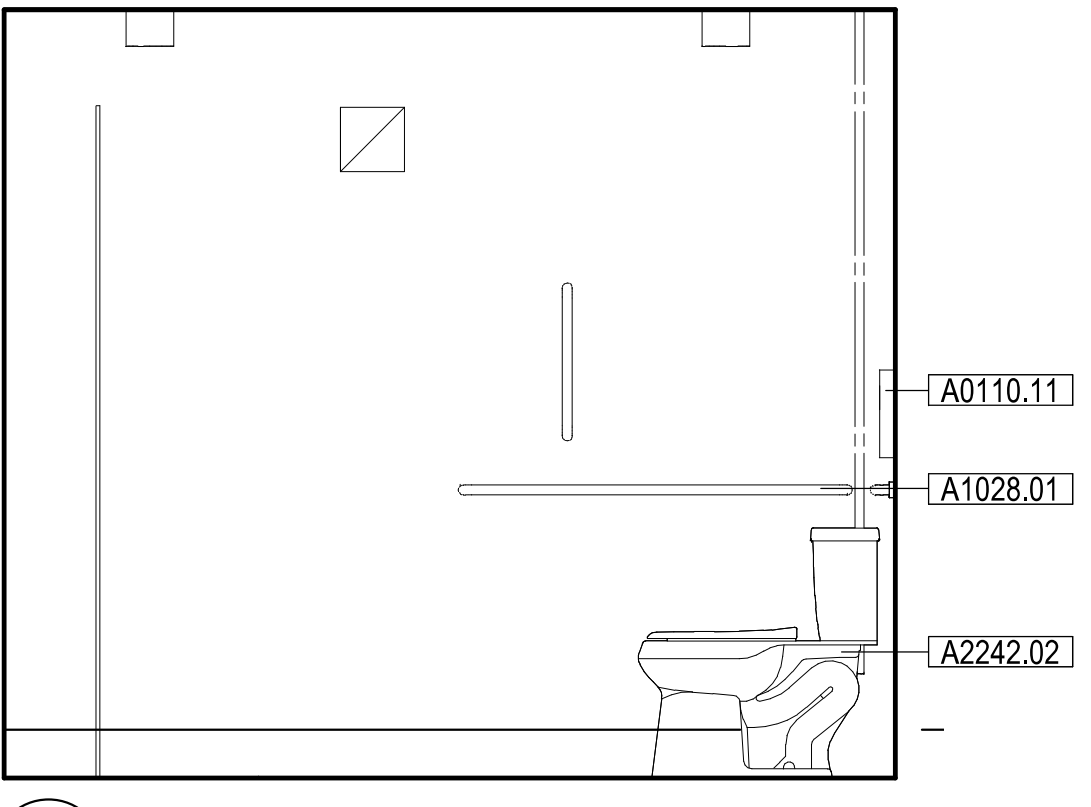
3 WEST WALL, CONFERENCE ROOM - LOWER LEVEL
1/2" = 1'-0"



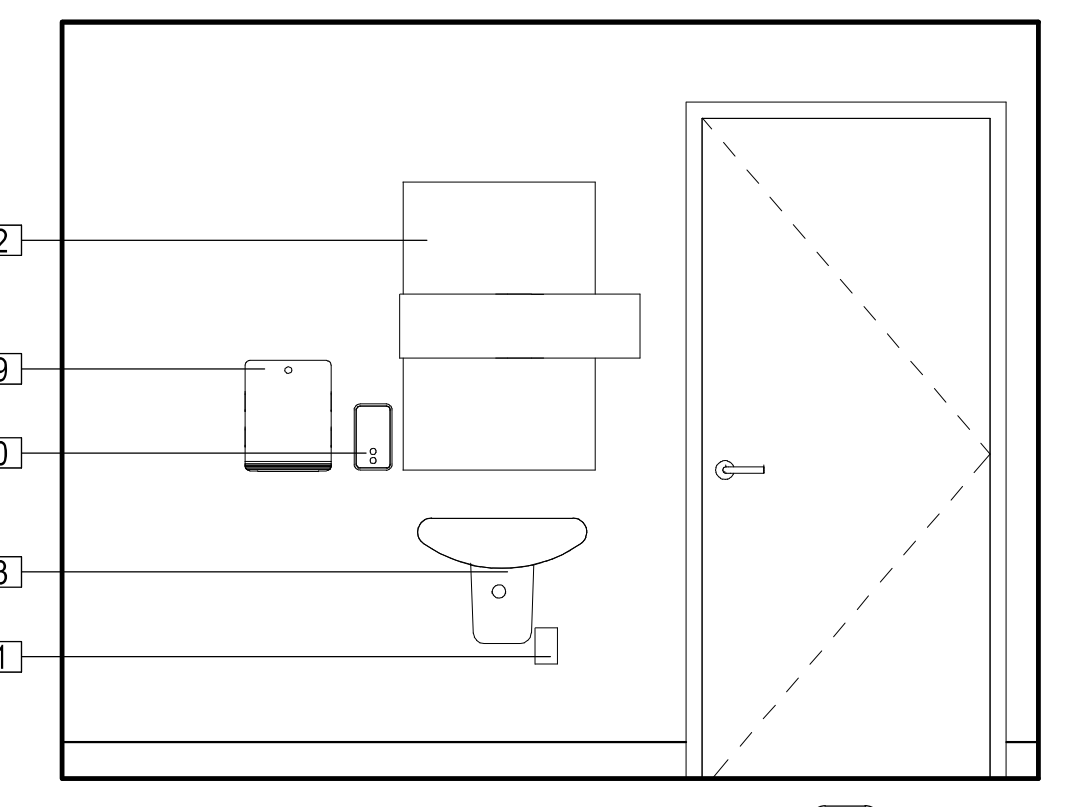
2 SOUTH WALL, CONFERENCE ROOM - LOWER LEVEL
1/2" = 1'-0"



1 NORTH WALL, CONFERENCE ROOM - LOWER LEVEL
1/2" = 1'-0"



5 103 RESTROOM, SOUTH
1/2" = 1'-0"



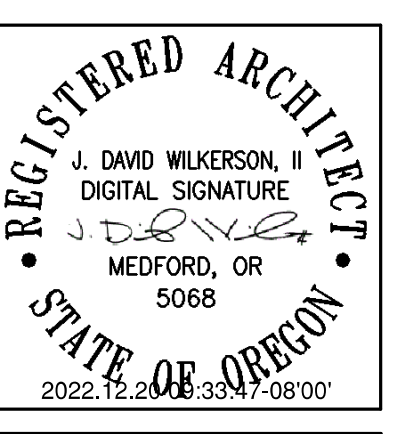
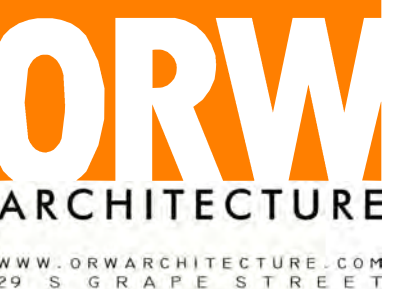
4 103 RESTROOM, NORTH
1/2" = 1'-0"

GENERAL NOTES

- NUMBERS AT CASEWORK LOCATIONS INDICATE CABINET STYLE IN ACCORDANCE WITH THOSE DESCRIBED BY THE ARCHITECTURAL WOODWORK STANDARDS - 3.0, JULY 1, 2016. CABINET DEPTHS ARE FROM FACE OF DOOR TO BACK OF CABINET BACK. UNLESS NOTED OTHERWISE, COUNTERTOPS ARE 24 INCHES DEEP. WALL AND TALL CABINETS ARE 15 INCHES DEEP.
- MOISTURE RESISTANT TOE KICK REQUIRED AT ALL CASEWORK LOCATIONS IN WET AREAS.

KEYNOTES

| # | NOTE |
|----------|---|
| A0110.01 | FURNITURE, OFOI |
| A0110.02 | REFRIGERATOR, OFCI |
| A0110.06 | TELEVISION, OFOI |
| A0110.07 | DISHWASHER, OFCI |
| A0110.08 | TOILET PAPER DISPENSER, OFCI |
| A0110.09 | PAPER TOWEL DISPENSER, OFCI |
| A0110.10 | SOAP DISPENSER, OFCI |
| A0110.11 | TOILET SEAT COVER DISPENSER, OFCI |
| A0110.12 | MIRROR, OFCI |
| A0641.01 | PLASTIC LAMINATE BASE CABINATE (PLAM-1), REF MATERIAL LEGEND |
| A0641.02 | PLASTIC LAMINATE UPPER CABINATE (PLAM-1), REF MATERIAL LEGEND |
| A1028.01 | ADA COMPLIANT GRAB BARS, REF ADA DETAILS FOR MOUNTING HEIGHT |
| A1236.01 | SOLID SURFACE COUNTERTOP & BACKSPLASH (SURF-1), REF MATERIAL LEGEND |
| A2240.01 | REGULAR KITCHEN SINK, REF PLUMB DWGS |
| A2242.02 | FLOOR MOUNTED WATER CLOSET, REF PLUMB DWGS |
| A2242.03 | WALL MOUNTED SINK, REF PLUMB DWGS |
| A2600.01 | REFER TO ELECTRICAL DRAWINGS FOR CONNECTION REQUIREMENTS |

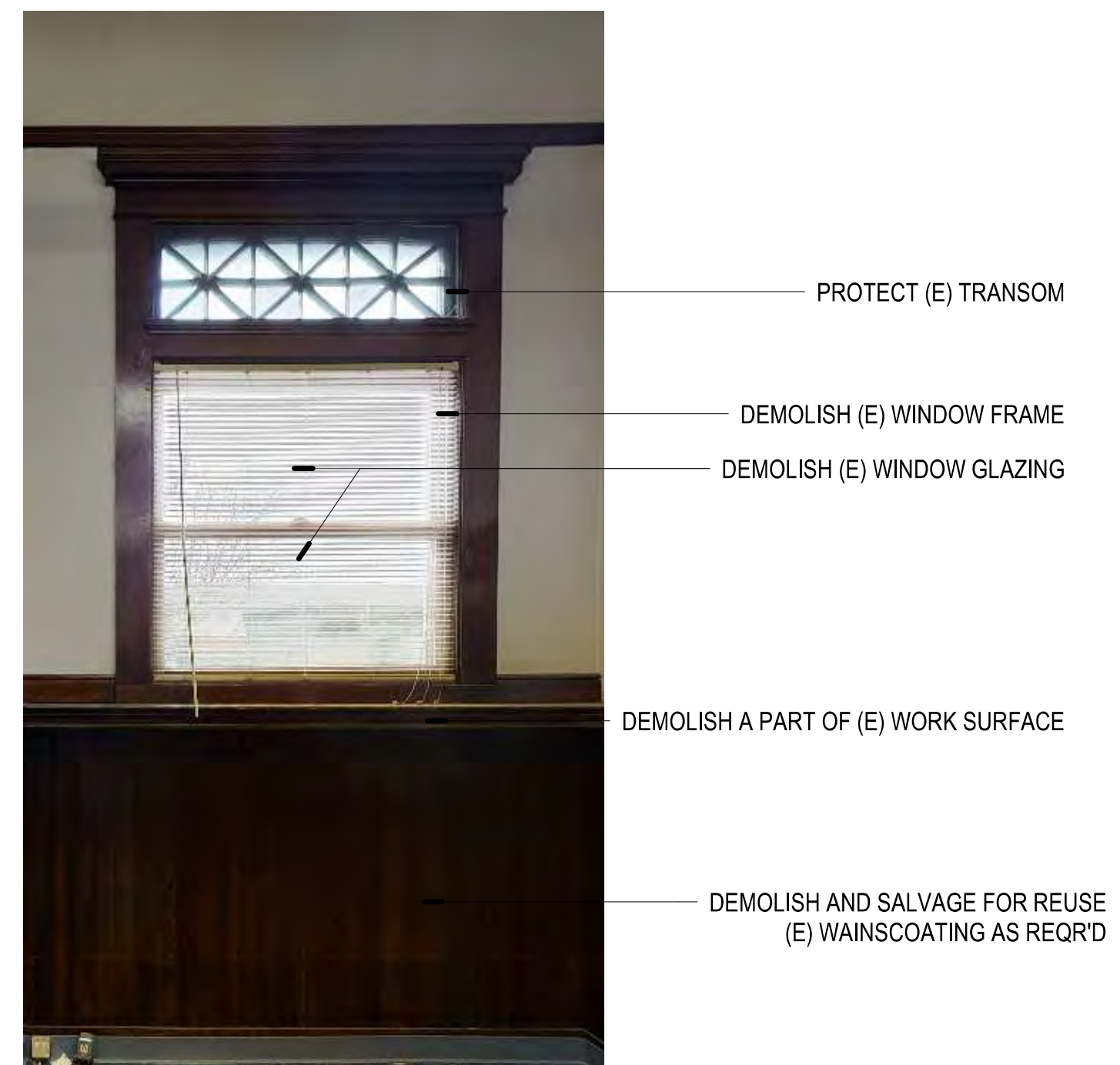
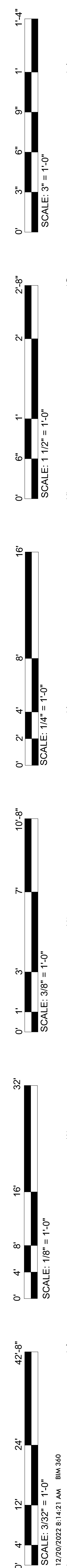


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INTERIOR ELEVATIONS

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| PROJECT: | 2146 | |
| DATE: | 12/20/2022 | |
| No. | Description | Date |
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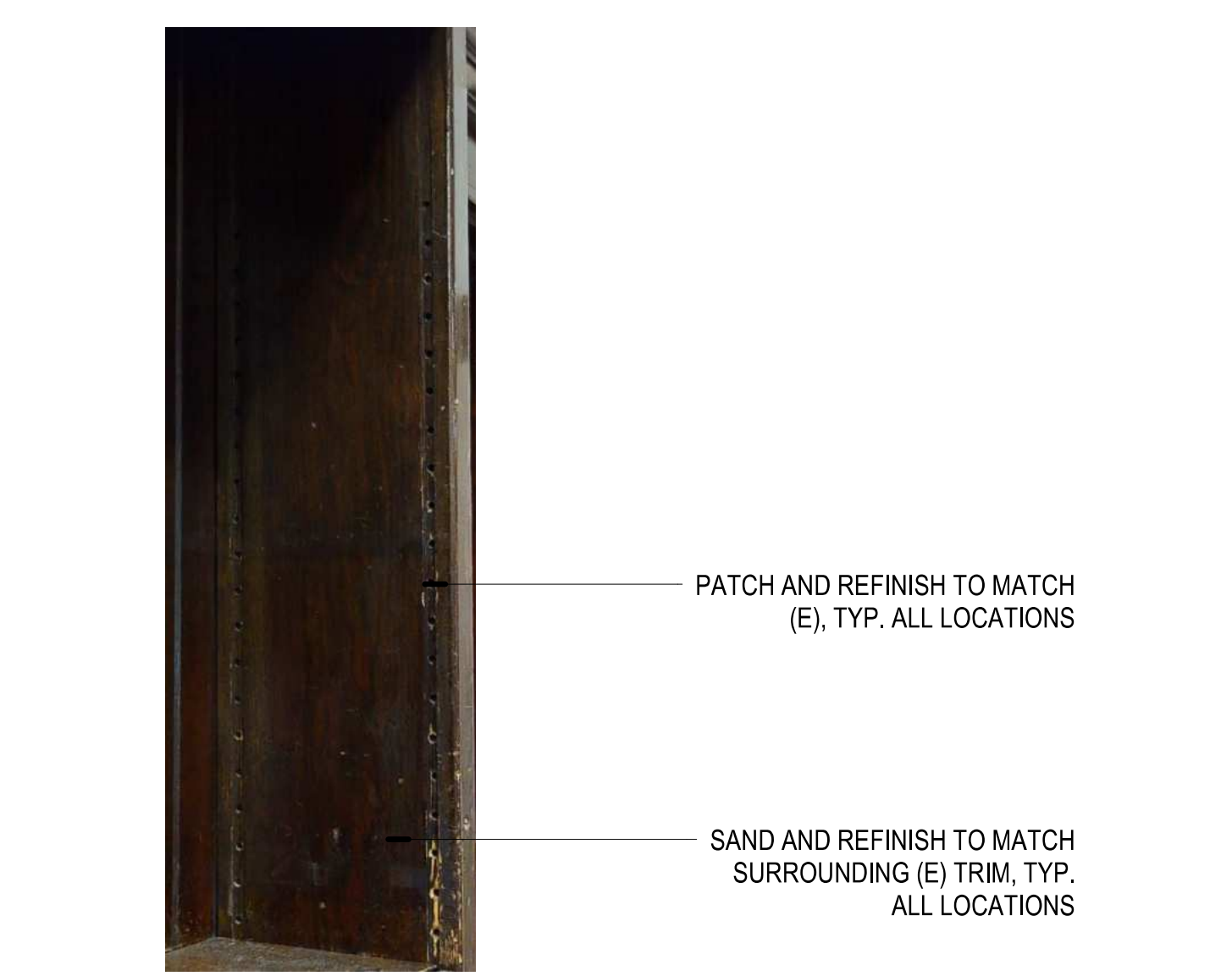
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6 207. (E) WINDOW DEMOLITION @ FIRE LOUNGE
1/2" = 1'-0"



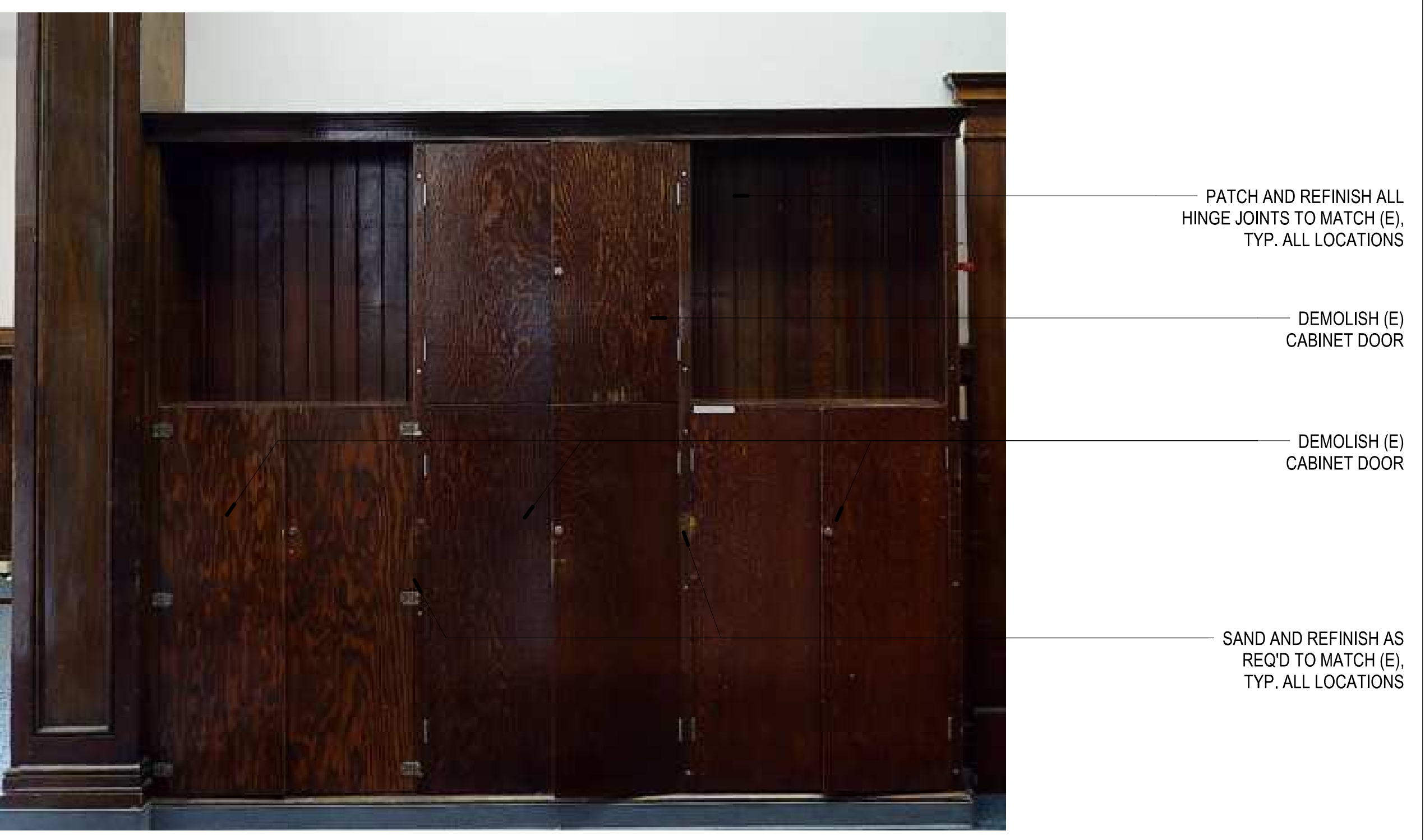
5 205. COLUMN BASE AND BODY @ RECEPTION
1/2" = 1'-0"



4 205. CABINET INTERIOR @ RECEPTION
1/2" = 1'-0"



3 205. COLUMN HEAD TRIM @ RECEPTION
1/2" = 1'-0"



2 205. EXISTING CABINET @ RECEPTION
1" = 1'-0"



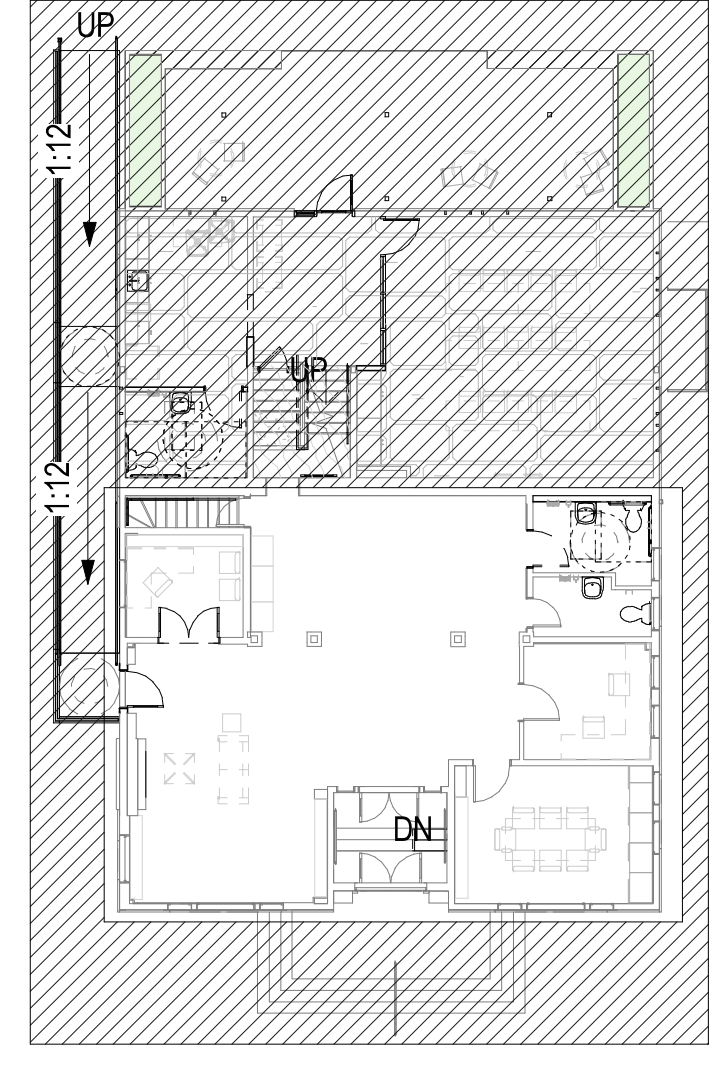
1 205. (E) DISPLAY WINDOW @ RECEPTION
1" = 1'-0"

GENERAL NOTES

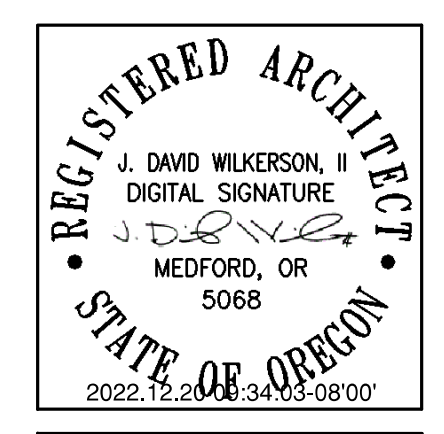
1. THE IMAGES ON THE SHEET ARE EXAMPLES OF THE LEVEL OF REMEDIATION NEED AND DOES NOT COVER THE ENTIRE SCOPE OF WORK
2. APPROXIMATE SURFACE WALL AREA FOR WOOD FINISH : 3000 SF

EXISTING FINISH CARPENTRY REFINISHING SCOPE:

1. PROVIDE THE REPAIR AND REFINISHING OF THE EXISTING FINISHED CARPENTRY IN THROUGHOUT THE FRONT, HISTORIC SPACES OF THE BUILDING INDICATED ON THE KEY PLAN AND EXAMPLES SHOWN IN THESE IMAGES.
2. FINISH CARPENTRY WITHOUT DAMAGE OR DISTRESS TO REMAIN AS-IS, UNLESS REFINISHING IS REQUIRED AS PART OF A REPAIR.
3. REQUIREMENTS FOR REPAIR AND REFINISHING ARE OUTLINED IN SECTION 060120 - MAINTENANCE OF FINISH CARPENTRY.



KEYPLAN



PROJECT: 2146
DATE: 12/20/2022

| No. | Description | Date |
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PICTURES AND DETAILS